



City of Charleston

DESIGN REVIEW BOARD

October 5th, 2020

4:30 PM

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

www.charleston-sc.gov/drb

MEETING PROTOCOL

- Staff will control the Powerpoint presentation that includes everything submitted by the applicant by the deadline, in accordance with the Submittal Requirements. Applicants simply need to ask staff to advance to the next slide during your presentation.
- Applicants, staff and Board members are required to give their name whenever speaking.
- Video and microphone has been disabled for all attendees. Attendees (not Board members or staff) will only be given the capabilities to speak when they are called on during the public comment period.
- Chat and the Q & A functions have been disabled for everyone.
- Public Comment:
 - The applicants (all team members) and the public have been required to register, indicate the project they wish to comment on, and submit any documents in advance of the meeting.
 - Just as in an in-person meeting, all applications heard today are part of a public meeting format. If you have registered and will speak during the public comment portion of the meeting you will need to state your name and address for the record.
 - Those members of the public that have registered will be called in order by project.
 - Members of the public that speak are encouraged to remain in the meeting for the completion of the item they have commented on.
 - Staff will call on the registered members of the public to speak for each project. Unregistered members of the public who raise their hand will not be called on.
- Board:
 - Board members should open the “Participants” panel so that each Board member can see the status of other Board members’ microphones and cameras.

MEETING PROTOCOL (continued)

- Board members will be polled by the chair for comments and for their vote on a motion. Each member, when voting, should respond “Yea, in favor” or “Nea, not in favor”. The Chairman shall re-read the motion verbatim and the Board member making the motion should correct the Chairman if he has not re-read the motion accurately.
- If a Board member needs to recuse, he will be temporarily removed from the meeting and placed back in the meeting at the start of the next agenda item.
- If the Board needs to go into Executive Session, they will call into a separate conference line and all video and audio on Zoom will be temporarily turned off until they are ready to return to the regular meeting.
- Staff will issue meeting results, including staff comments and Board Motion to the applicant following the meeting. Results will also be posted on the City website at www.charleston-sc.gov/drb .
- For additional information:
 - Contact DRB@charleston-sc.gov
 - Visit www.charleston-sc.gov/drb if you are experiencing technical difficulties during the meeting.
- These proceedings are being recorded.

Agenda Item #1

1517 SAVANNAH HWY.
TMS # 349-01-00-015 & 016

Request the demolition of Fire Station 11 that is to be replaced by a new station off site.
A new auto parking lot for Baker Motors is to replace the station



VIEW FROM SAVANNAH HIGHWAY (NORTH ELEVATION)



VIEW FROM SAVANNAH HIGHWAY (NORTH ELEVATION)



EXISTING SOUTH ELEVATION



EXISTING SOUTH ELEVATION



INTERIOR VIEW



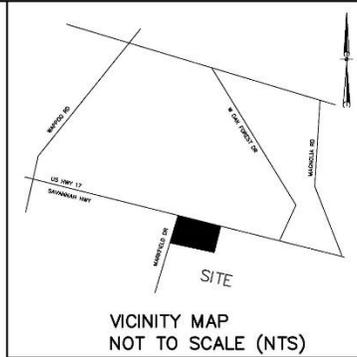
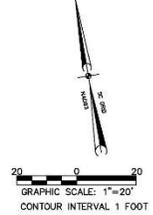
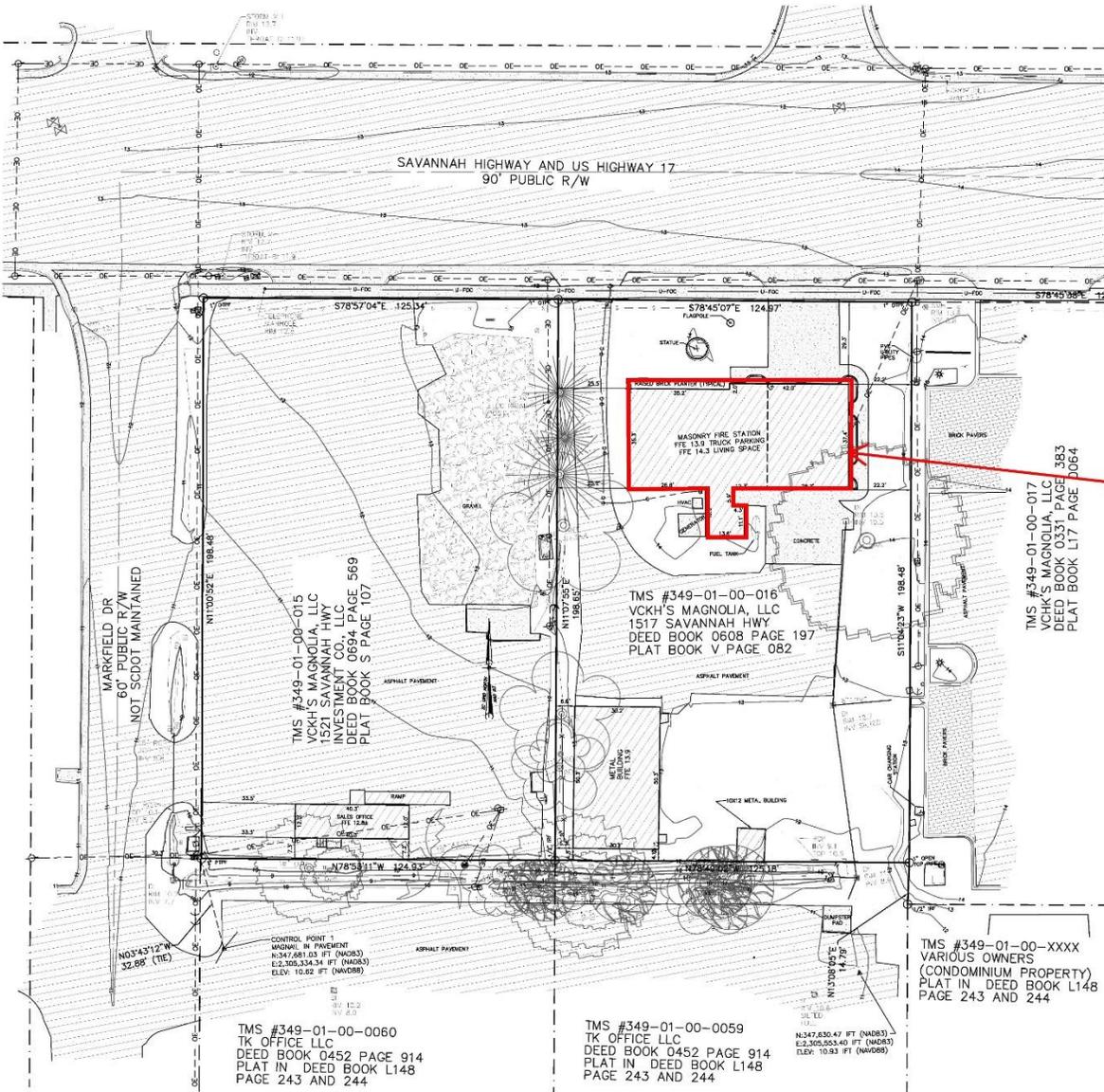
INTERIOR VIEW



DRB DEMOLITION REQUEST
CHARLESTON FIRE STATION NO. 11
1517 Savannah Highway, Charleston, SC 29407

09/23/2020

SITE SURVEY



HOWELL GEOSPATIAL SURVEYING, LLC
 181 LARSEN DRIVE
 CHARLESTON, SC 29414
 OFFICE (843) 647-5563
 CELL (843) 819-7496
 FAX (843)-647-5563
 HG-SURVEYING@COMCAST.NET



LEGEND

—	CURB/PAVEMENT LINE	■	FIBER OPTIC MARKER
—	CONCRETE	★	LIGHT PIPE FOUND
- - -	DRAINAGE EASEMENT	⊗	CONCRETE BASE
- - -	ADJACENT BOUNDARY LINES	⊕	ELECTRIC METER
- - -	GENERAL UTILITY EASEMENT	⊖	WATER METER
- - -	TOP OF DITCH OR BANK	⊙	BACKFLOW PREVENTER
- - -	BUILDING LINE	⊙	SEWER CLEANOUT
- - -	BOTTOM OF BANK OR DITCH	⊙	TELEPHONE VAULT
- - -	BOUNDARY LINE	⊙	COMPUTED POINT
- - -	FENCE	⊙	IRON ROD FOUND OR SET
		⊙	FIRE HYDRANT
		⊙	WATER VALVE
		⊙	DROP INLET
		⊙	5/8" IRON ROD SET
		⊙	1/2" IRON ROD FOUND
		⊙	OTF OPEN TOP PIPE FOUND
		⊙	PTF FINCH TOP PIPE FOUND
		⊙	RYRIBRATION CONTROL VALVE
		⊙	R/W RIGHT OF WAY

EXISTING BUILDING TO BE DEMOLISHED

SURVEYORS NOTES:

- NORTH ORIENTATION IS SC GRID (NAD83), BASED ON PRIOR PLAT BY HGS (PROJECT 5709-1), FOR BAKERS MOTORS, DATED 9/9/2016, USING SCVRS REDUCTION OF POINTS USING NGS MONUMENT TO 049.
- ELEVATIONS ARE NAVD83 TIED BY GPS TO NGS STATION 10 049 USING THE ABOVE REFERENCE.
- THIS PARCEL APPEARS TO BE IN FLOOD ZONE X, AS DEPICTED ON FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) FIRM (FLOOD INSURANCE RATE MAP) 4501BC0492A, WITH AN EFFECTIVE DATE OF NOVEMBER 17, 2004.
- UTILITIES ARE BASED ON VISUAL OBSERVATION AND SC811 TICKET NUMBERS 1608192643 AND 160819206, AND 2006051366. OTHER UTILITIES MAY BE PRESENT. ONLY FIBER LINE UNDER SIDEWALK WAS MARKED.
- TITLE REPORT NOT SUPPLIED NOR OBTAINED BY HGS. THIS PARCEL SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
- NO INVESTIGATIONS OF FOOTING OR SUBSURFACE SUPPORTS, OR ENVIRONMENTAL ISSUES WAS MADE BY SURVEYOR.
- ALL PLAT AND DEED REFERENCES ARE TO CHARLESTON COUNTY RMC OFFICE.
- THIS PLAT IS INVALID UNLESS IT BEARS THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE SURVEYOR.

PARCEL	AREA TABLE	SQ FT	ADRES
TMS 349-01-00-015	1521 SAVANNAH HWY	24,845 SQ FT ±	0.570
TMS 349-01-0016	1517 SAVANNAH HWY	24,833 SQ FT ±	0.570
TOTAL		49,678 SQ FT ±	1.140

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, MEETS OR EXCEEDS THE REQUIREMENTS FOR A TOPOGRAPHIC SURVEY AS SPECIFIED THEREIN.

F. LEE HOWELL, SC PLS 9316 SIGNATURE DATE

NO.	DATE	REVISION	BY

SCALE: 1" = 20'

BOUNDARY AND TOPOGRAPHIC SURVEY OF TWO PARCELS OF LAND BELONGING TO VCKH'S MAGNOLIA, LLC AND BAKER MOTOR COMPANY AND REFERENCED HEREON, LING IN THE CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA.
 SURVEY REQUESTED BY: BAKER MOTOR COMPANY

CITY: CHARLESTON COUNTY: CHARLESTON STATE: SOUTH CAROLINA
 SURVEY DATE: 8/16/2020
 PROJECT: 5709-1
 SHEET: 1 OF 1

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY
- EDGE OF PAVEMENT
- BUFFER LINE
- LIMITS OF CONSTRUCTION/SILT FENCE
- IRON PIPE FOUND
- IRON PIPE SET
- EXISTING WALK MAIN
- EXISTING SEWER MAIN
- EXISTING 18" RCP DRAIN LINE
- EXISTING SEWER MANHOLE
- EXISTING WATER VAULT
- EXISTING WATER METEOR
- EXISTING COMMUNICATIONS VAULT
- EXISTING ELECTRIC VAULT
- EXISTING TRAFFIC SIGNAL VAULT
- EXISTING ELECTRIC PANEL
- EXISTING GAS VALVE
- EXISTING TEL CABINET
- EXISTING STORM VAULT
- EXISTING STORM INLET
- EXISTING LIGHT POLE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING DRAINAGE FLOW PATTERN
- EXISTING TREE TO BE REMOVED
- TREES TO BE PROTECTED
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CONCRETE TO BE REMOVED
- EXISTING GRAVEL TO BE REMOVED

SWPPP LEGEND:

- CONCRETE WASHOUT
- CONSTRUCTION ENTRANCE/EXIT
- SILT FENCE/SEDIMENT TUBES

SITE SURFACES:

TOTAL PRE-DEVELOPED PERVIOUS SURFACE AREA:	0.34 ACRES	30% OF SITE
TOTAL PRE-DEVELOPED IMPERVIOUS SURFACE AREA:	0.72 ACRES	63% OF SITE
TOTAL SWM PERVIOUS SURFACE AREA (GRAVELS):	0.08 ACRES	07% OF SITE
TOTAL SITE AREA:	1.14 ACRES	

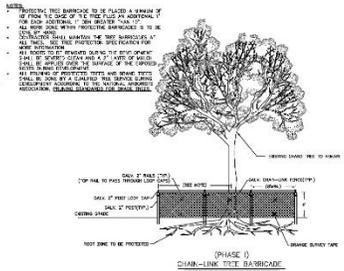
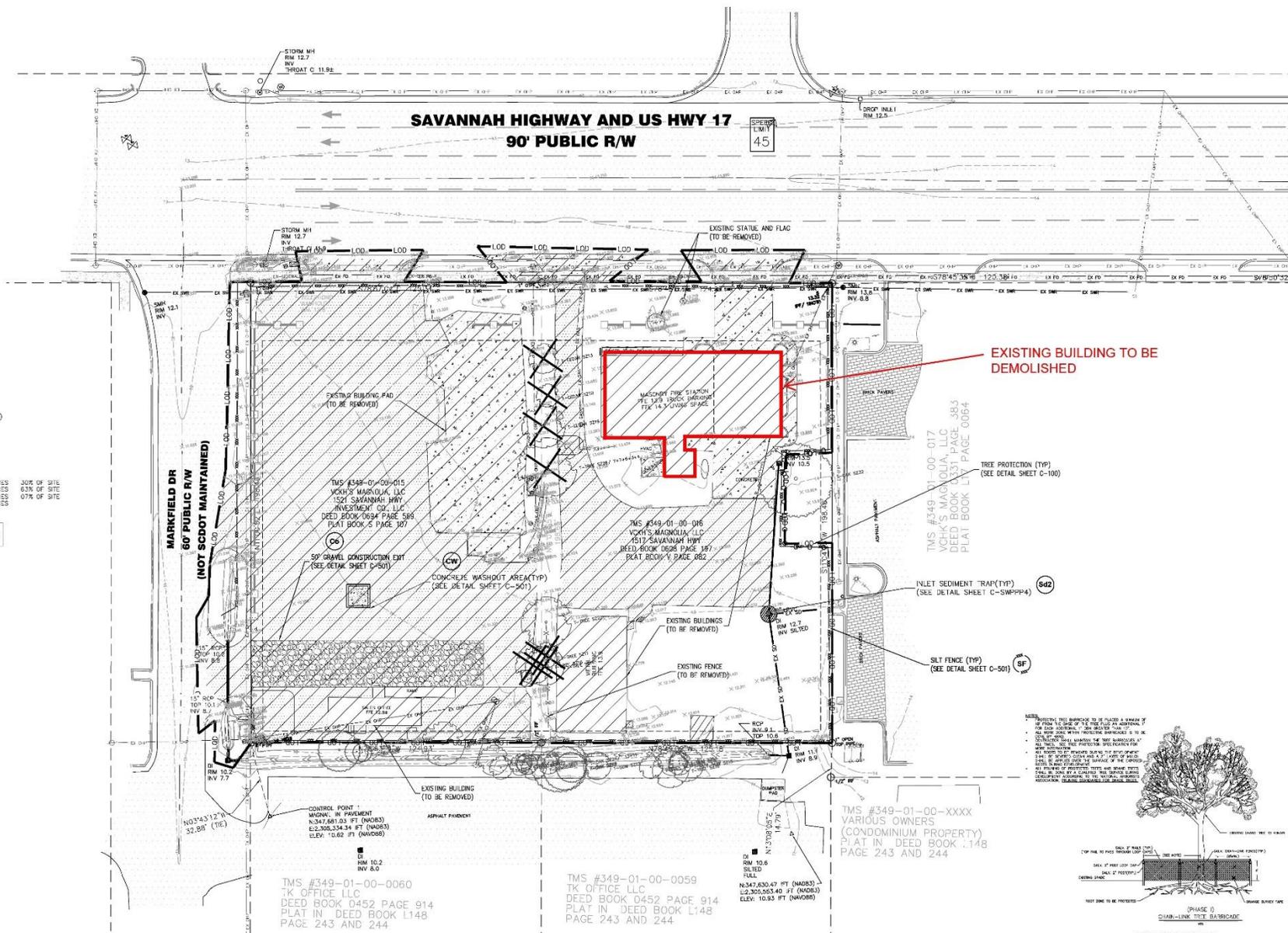
LIMITS OF DISTURBANCE = 1.20 ACRES

SITE DATA:

- TMS#: 349-01-00-015 & 16
- LOT SIZE: 1.14 ACRES
- LIMITS OF DISTURBANCE: 1.20 ACRES
- FLOOD ZONE: X
- FIRM PANEL#: 45019C0492K
- DATE: SEPTEMBER 9TH, 2016
- ZONED:
- BUFFERS:
 - FRONT: 25'
 - SIDE: 5'
 - REAR: 5'
- SETBACKS:
 - FRONT: N/A
 - SIDE: N/A
 - REAR: N/A
- PARKING PROVIDED:
 - REGULAR: 101 SPACES
 - HANDICAP: 0 SPACE
 - TOTAL: 101 SPACES

BENCH MARK DATA:
TBM MAGNAIL IN PAVEMENT
ELEVATION=10.62' DATUM: NAVD 85

EXISTING SITE PLAN



GRAPHIC SCALE
1 inch = 20 ft.

Agenda Item #2

2947 MAYBANK HWY.

TMS # 313-00-00-088

Request the conceptual approval for 2, one-story buildings, one detail office and one retail building.

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ABBREVIATIONS	
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
ARCH.	ARCHITECTURAL/ARCHITECT
B	AT
BRG.	BEARING
BTM.	BOTTOM
BLDG.	BUILDING
(C)	CAULK
C.F.C.I.	CABINET
C.F.O.I.	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED CONTRACTOR FURNISHED, OWNER INSTALLED
CLG.	CEILING
CPT.	CARPET
CTR.	CENTER
CLOSET.	CLOSET
COL.	COLUMN
CONC.	CONCRETE
C.J.	CONTROL JOINT
DTL.	DETAIL
DN.	DIA. METER
DM.	DIMENSION
DN.	DOWN
DWG.	DRAWING
EA.	EACH
ELEC.	ELECTRIC/ELECTRICAL
E.W.C.	ELECTRIC WATER COOLER
ELEV.	ELEVATION-GRADE OR BLDG.
E.J.	EXPANSION JOINT
EPS	EXTRUDED POLYSTYRENE
EQU.	EQUAL
EQUIP.	EQUIPMENT
E.F.	EXHAUST FAN
EXIST. (-E)	EXISTING
EXT.	EXTERIOR
FT.	FEET
FR.	FINISH
F.F.	FIRE EXTINGUISHER (WALL BRACKET)
F.E.C.	FIRE EXTINGUISHER CABINET (SEMI-RECESSED WALL CAB.)
F.L.R.	FLOOR
FRT.	FIRE RETARDANT TREATED
F.D.	FLOOR DRAIN
GALV.	GALVANIZED
GA.	GAUGE
GYP/DBD.	GYP/SUM BOARD
HC	HANDICAP ACCESSIBLE
HWDR.	HARDWARE
HT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
INSUL.	INSULATION
INT.	INTERIOR
JAN.	JANITOR
JT.	JOINT
K.S.	KNEE SPACE
LAM.	LAMINATE
LAV.	LAVATORY
MFR.	MANUFACTURER
M.O.	MASONRY OPENING
MATL.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
MTL.	METAL
(N)	NEW
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
OPNG.	OPENING
O.H.	OPPOSITE HAND
O.R.D.	OVERFLOW ROOF DRAIN
(P)	PAINT
PLYWD	PLYWOOD
PR	PAR
PREF.	PREFINISHED
PREFAB.	PREFABRICATED
P.T.	PRESSURE TREATED
RAD. R.	RADIUS
RE.	REFERENCE
REIN.	REINFORCING
REQD.	REQUIRED
R.D. (L)	ROUGH OPENING
R.D.	ROUGH OPENING
SHT.	SHEET
SM.	SIMILAR
SPECS.	SPECIFICATIONS
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
TEL.	TELEPHONE
TR.	TREATED
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
(V)	VERIFY
V.A.T.	VINYL ASBESTOS TILE
V.C.T.	VINYL COMPOSITE TILE
VERT.	VERTICAL
V.T.R.	VENT THROUGH ROOF
W.C.	WATER CLOSET
WD.	WOOD



MAYBANK MEDICAL OFFICES

MAYBANK HIGHWAY

JOHNS ISLAND, SOUTH CAROLINA

CCDRB CONCEPTUAL SUBMITTAL 09.23.2020



STREETSCAPE ELEVATION FROM MAYBANK HIGHWAY

OWNER		INDEX OF DRAWINGS		BUILDINGS SQUARE FOOTAGES	
PETER SCIARRINO 2754 MAYBANK HIGHWAY JOHNS ISLAND, SC 29455 803.238.9505		G001	TITLE SHEET & DRAWING INDEX	L101	OVERALL PLAN WITH BUFFER CHART, PLANT SCHEDULE & NOTES
		G002	SITE CONTEXT IMAGES	L102	PRELIMINARY LANDSCAPE ENLARGEMENT PLAN & SIDEWALK DETAIL
		G003	CONTEXT IMAGES	L103	PRELIMINARY LANDSCAPE ENLARGEMENT PLAN
			CIVIL COVER	L104	PRELIMINARY LANDSCAPE
ARCHITECT	CIVIL ENGINEERING	1	EXISTING CONDITIONS LAYOUT		
COAST ARCHITECTS, INC.	AMERICAN ENGINEERING	2	EXISTING DEMOLITION LAYOUT		
671 SAINT ANDREWS	CONSULTANTS, INC.	3	PROPOSED STAKING LAYOUT		
BLVD.		8	FIRE PROTECTION LAYOUT	A102	TENANT FLOOR PLAN
LANDSCAPE ARCHITECT	300 12TH ST.	04	ADDITIONAL GRADING PHASE I	A201	EXTERIOR ELEVATIONS - OFFICE
THE TOMBLIN COMPANY, LLC		D1	DETAILS	A202	EXTERIOR ELEVATIONS - OFFICE
716 FORT SUMTER DRIVE		D2	DETAILS	A203	EXTERIOR ELEVATIONS - OFFICE
CHARLESTON, SC 29412	P.O. BOX 2299	D3	PROPOSED GRADING PHASE II	A204	EXTERIOR ELEVATIONS - OFFICE
843.412.2894		D4	DETAILS	A205	PERSPECTIVE SKETCHES - OFFICE
	CAYCE, SC 29171	D5	DETAILS	A206	PERSPECTIVE SKETCHES - OFFICE
	803.791.1400	6	STORM DRAIN PROFILES	A207	EXTERIOR ELEVATIONS - TENANT
		7	PROPOSED UTILITY LAYOUT	A208	EXTERIOR ELEVATIONS - TENANT
				A209	PERSPECTIVE SKETCHES - TENANT
				A10	OFFICE FLOOR PLAN

LOCATOR MAP

PROJECT SITE

CCDRB CONCEPTUAL SUBMITTAL 09.23.2020



NOT FOR CONSTRUCTION

09.23.2020

MAYBANK MEDICAL OFFICES
 OAK FAMILY DENTISTRY
 MAYBANK HIGHWAY
 JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

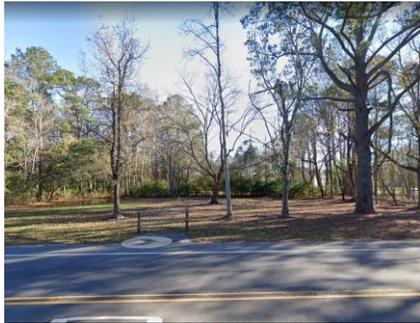
DRAWN BY: MCC
 CHECKED BY: EHZ
 DATE: 09.23.2020
 COAST PROJECT NO.: 1822.00

TITLE SHEET & DRAWING INDEX
G001

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VIEW OF NORTHEAST CORNER OF PROPERTY FROM MAYBANK HWY



VIEW OF CENTER OF PROPERTY FROM MAYBANK HIGHWAY



VIEW OF NORTHWEST CORNER FROM MAYBANK HIGHWAY



VIEW OF WILDTS BATTERY BOULEVARD FROM MAYBANK HIGHWAY



VIEW OF PROPERTIES ON THE EAST SIDE OF PROJECT SITE



VIEW OF PROPERTIES ON THE EAST SIDE OF PROJECT SITE



VIEW OF PROPERTIES ON THE WEST SIDE OF PROJECT SITE



VIEW OF PROPERTIES ON THE WEST SIDE OF PROJECT SITE



VIEW OF NORTH SIDE OF MAYBANK HWY



VIEW OF NORTH SIDE OF MAYBANK HWY



VIEW OF NORTH SIDE OF MAYBANK HWY



VIEW OF NORTH SIDE OF MAYBANK HWY

coast
architects
671 S. Avon Blvd., Charleston, SC 29407
Phone: 843.783.7061 Fax: 843.783.7061
www.coastarchitects.com

NOT FOR
CONSTRUCTION

09.23.2020

**MAYBANK MEDICAL
OFFICES
OAK FAMILY
DENTISTRY MAYBANK
HIGHWAY**

JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: MCC
CHECKED BY: CRZ
DATE: 09.23.2020
COAST PROJECT NO.: 1822.00

SITE CONTEXT
IMAGES

G002

CCDRB CONCEPTUAL SUBMITTAL
09.23.2020

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TUPELO BEND OFFICE PARK ON THE SOUTH SIDE OF MAYBANK HIGHWAY



TUPELO BEND OFFICE PARK ON THE SOUTH SIDE OF MAYBANK HIGHWAY



TUPELO BEND OFFICE PARK ON THE SOUTH SIDE OF MAYBANK HIGHWAY



TUPELO BEND OFFICE PARK ON THE SOUTH SIDE OF MAYBANK HIGHWAY



ROYAL TERN RESTAURANT ON SOUTH SIDE OF MAYBANK HIGHWAY



ROYAL TERN RESTAURANT ON SOUTH SIDE OF MAYBANK HIGHWAY



ROYAL TERN RESTAURANT ON SOUTH SIDE OF MAYBANK HIGHWAY



LIVE OAK SQUARE ON THE NORTH SIDE OF MAYBANK HIGHWAY



NEW MULTI-FAMILY DEVELOPMENT ON MAYBANK HWY NEAR FOLLY RD



NEW MULTI-FAMILY DEVELOPMENT ON MAYBANK HWY NEAR FOLLY RD



THE APARTMENTS AT SHADE TREE - DIRECTLY ADJACENT TO THE PROJECT SITE



coast
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Phone: 843.763.7061 Fax: 843.763.7061
www.coastarchitects.com

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09.23.2020

MAYBANK MEDICAL OFFICES
OAK FAMILY DENTISTRY
MAYBANK HIGHWAY

JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: MCC
CHECKED BY: CRZ
DATE: 09.23.2019
COAST PROJECT NO.: 1822.00

CONTEXT IMAGES

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09.23.2020

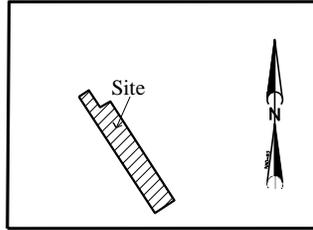
G003

MAYBANK MEDICAL OFFICES PROJECT PHASE I

PREPARED FOR
OAK FAMILY PROPERTIES, LLC
SEPTEMBER 2020

SHEET INDEX

Existing Conditions Layout	1
Existing Demolition Layout	2
Proposed Staking Layout	3
Proposed Grading Phase I Layout	4
Proposed Grading Phase II Layout	5
Storm Drain Profiles	6
Proposed Utility Layout	7
Fire Protection Layout	8
ADA Accessibility Layout	9
Overall Landscape Plan	10
Landscape Plan	11
Landscape Plan	12
Landscape Plan	13
Details	D1
Details	D2
Details	D3
Details	D4
Details	D5



VICINITY MAP
Scale: 1" = 400'

C-SWRPP CERTIFICATION
I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET. SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

JOB NO. 18-030



AMERICAN ENGINEERING CONSULTANTS, INC.

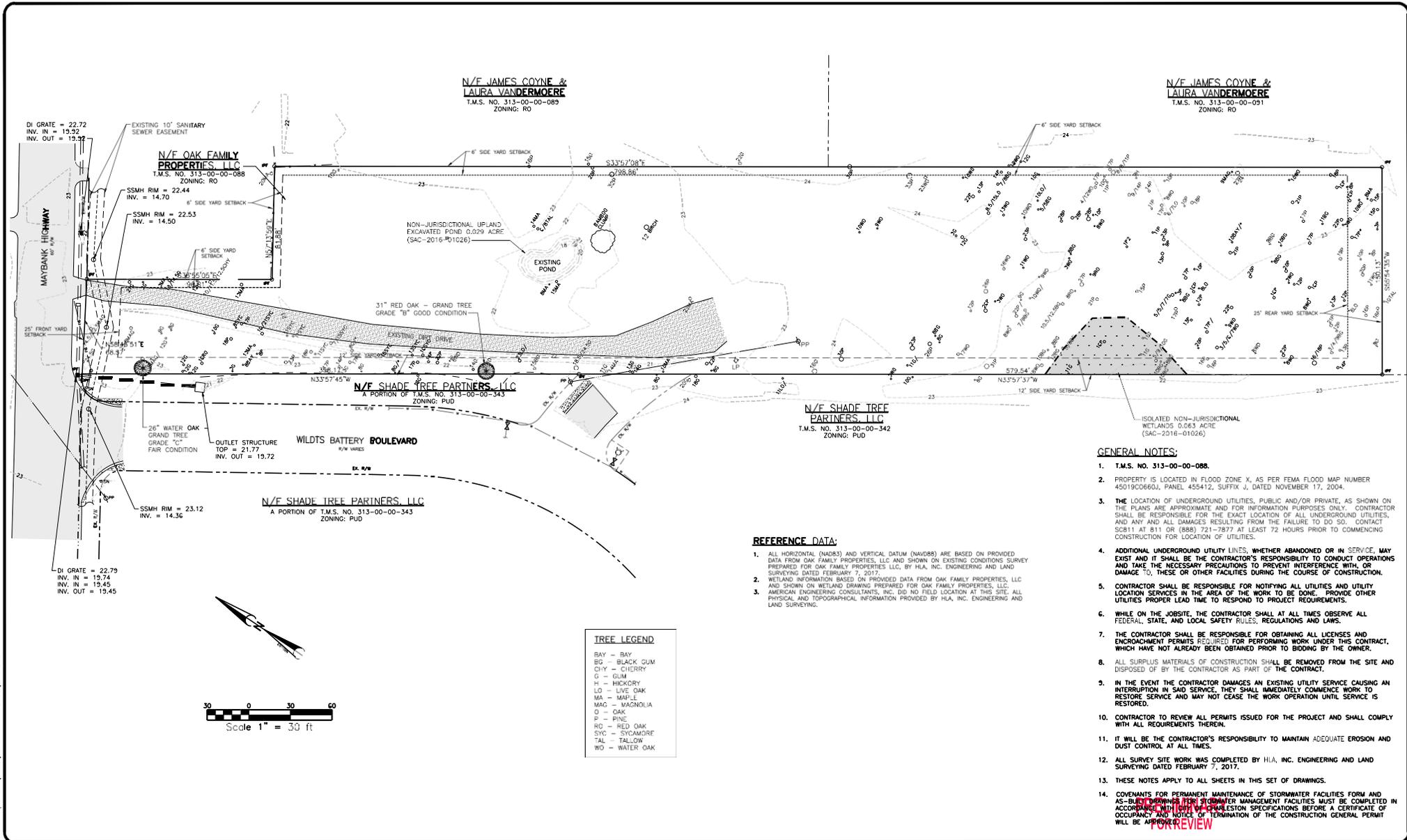
STORMWATER DESIGN STANDARDS MANUAL (SWDSM) VARIANCES			
APPLICABLE SECTION	DESCRIPTION OF THE VARIANCE	SUBMITTAL DATE	APPROVAL DATE

Contact Information
Peter Sciarrino
Owner
2754 Maybank Highway
Johns Island, S.C. 29455
1-803-238-9505

AMERICAN

www.aec-sc.com • Email: info@aec-sc.com

**PRELIMINARY
FOR REVIEW**



9/22/2020 9:40 AM HUBRANTOS P:\18-000\DWGS\CONSTRUCTION DWGS\EXIST.DWG

NO	DATE	REVISION	BY

AMERICAN ENGINEERING CONSULTANTS, INC.
1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171
Phone: (803) 791-1400 • Fax: (803) 791-8110
Internet: www.aec-sc.com • Email: info@aec-sc.com

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SEAL OF THE STATE OF SOUTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
IN THE STATE OF SOUTH CAROLINA
NO. 00555

DATE September, 2020	SCALE AS SHOWN
DRAWN ---	CHECKED CRW
DESIGNED ---	JOB NO 18-000
DATE FILE EXIST	DATE PLOT LAYOUT1

Maybank Medical Offices Project Phase I
PREPARED FOR
Oak Family Properties, LLC
City of Charleston, Charleston County, South Carolina
Existing Conditions Layout

DRAWING NO. 1
OF 18
FILE NO.

**N/F JAMES COYNE &
LAURA VANDERMOERE**
T.M.S. NO. 313-00-00-089
ZONING: RC

**N/F OAK FAMILY
PROPERTIES, LLC**
T.M.S. NO. 313-00-00-088
ZONING: RC

N/F SHADE TREE PARTNERS, LLC
A PORTION OF T.M.S. NO. 313-00-00-343
ZONING: PUD

**N/F SHADE TREE
PARTNERS, LLC**
T.M.S. NO. 313-00-00-342
ZONING: PUD

N/F SHADE TREE PARTNERS, LLC
A PORTION OF T.M.S. NO. 313-00-00-343
ZONING: PUD

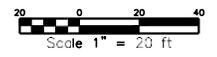
DI GRATF = 22.72
INV. IN = 19.92
INV. OUT = 19.92

SSMH RIM = 22.44
INV. = 14.70

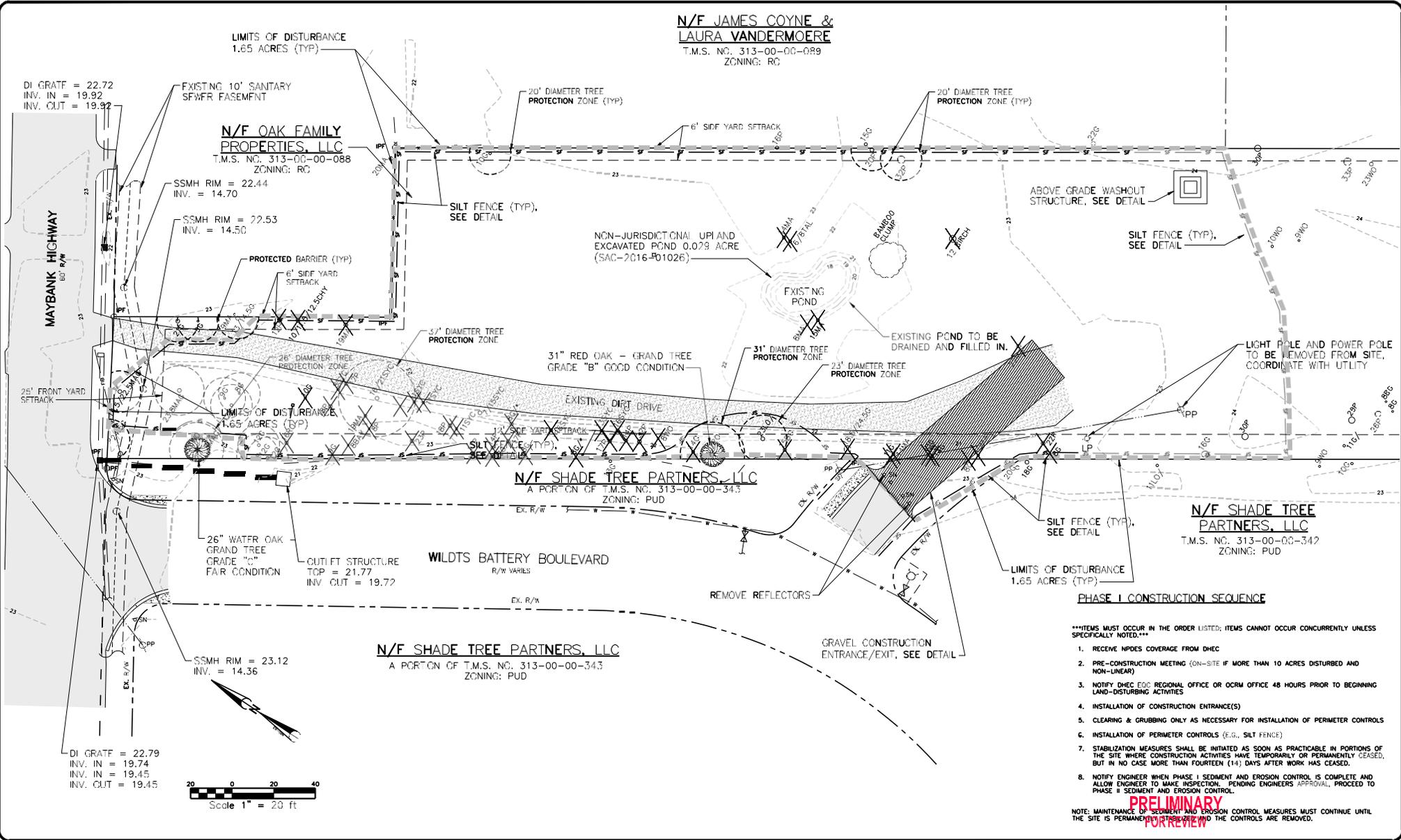
SSMH RIM = 22.53
INV. = 14.50

SSMH RIM = 23.12
INV. = 14.36

DI GRATF = 22.79
INV. IN = 19.74
INV. IN = 19.45
INV. OUT = 19.45



9/22/2020 10:50 AM MBRANTON PA 18-030-DWG'S CONSTRUCTION DWGS/GRADE PH 1.DWG



PHASE I CONSTRUCTION SEQUENCE

ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.

1. RECEIVE NPDES COVERAGE FROM DHEC
2. PRE-CONSTRUCTION MEETING (ON-SITE IF MORE THAN 10 ACRES DISTURBED AND NON-LINEAR)
3. NOTIFY DHEC EDC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING LAND-DISTURBING ACTIVITIES
4. INSTALLATION OF CONSTRUCTION ENTRANCE(S)
5. CLEARING & GRUBBING ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS
6. INSTALLATION OF PERIMETER CONTROLS (E.G., SILT FENCE)
7. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED.
8. NOTIFY ENGINEER WHEN PHASE I SEDIMENT AND EROSION CONTROL IS COMPLETE AND ALLOW ENGINEER TO MAKE INSPECTION. PENDING ENGINEER'S APPROVAL, PROCEED TO PHASE II SEDIMENT AND EROSION CONTROL.

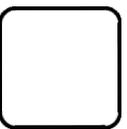
NOTE: MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES MUST CONTINUE UNTIL THE SITE IS PERMANENTLY RESTORED AND THE CONTROLS ARE REMOVED.

**PRELIMINARY
FOR REVIEW**

NO	DATE	REVISION	BY

AMERICAN ENGINEERING CONSULTANTS, INC.
1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171
Phone: (803) 791-1400 • Fax: (803) 791-8110
Internet: www.aec-sc.com • Email: info@aec-sc.com

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DATE (SHEETING): 2020
SCALE: AS SHOWN
DRAWN: ---
DESIGNED: CRW
CHECKED: CRW
JOB NO: 18-030
DWG FILE: GRADE PH 1
LAYOUT: LAYOUT1

Maybank Medical Offices Project Phase I
PREPARED FOR
Oak Family Properties, LLC
City of Charleston, Charleston County, South Carolina
Proposed Grading Phase I Layout

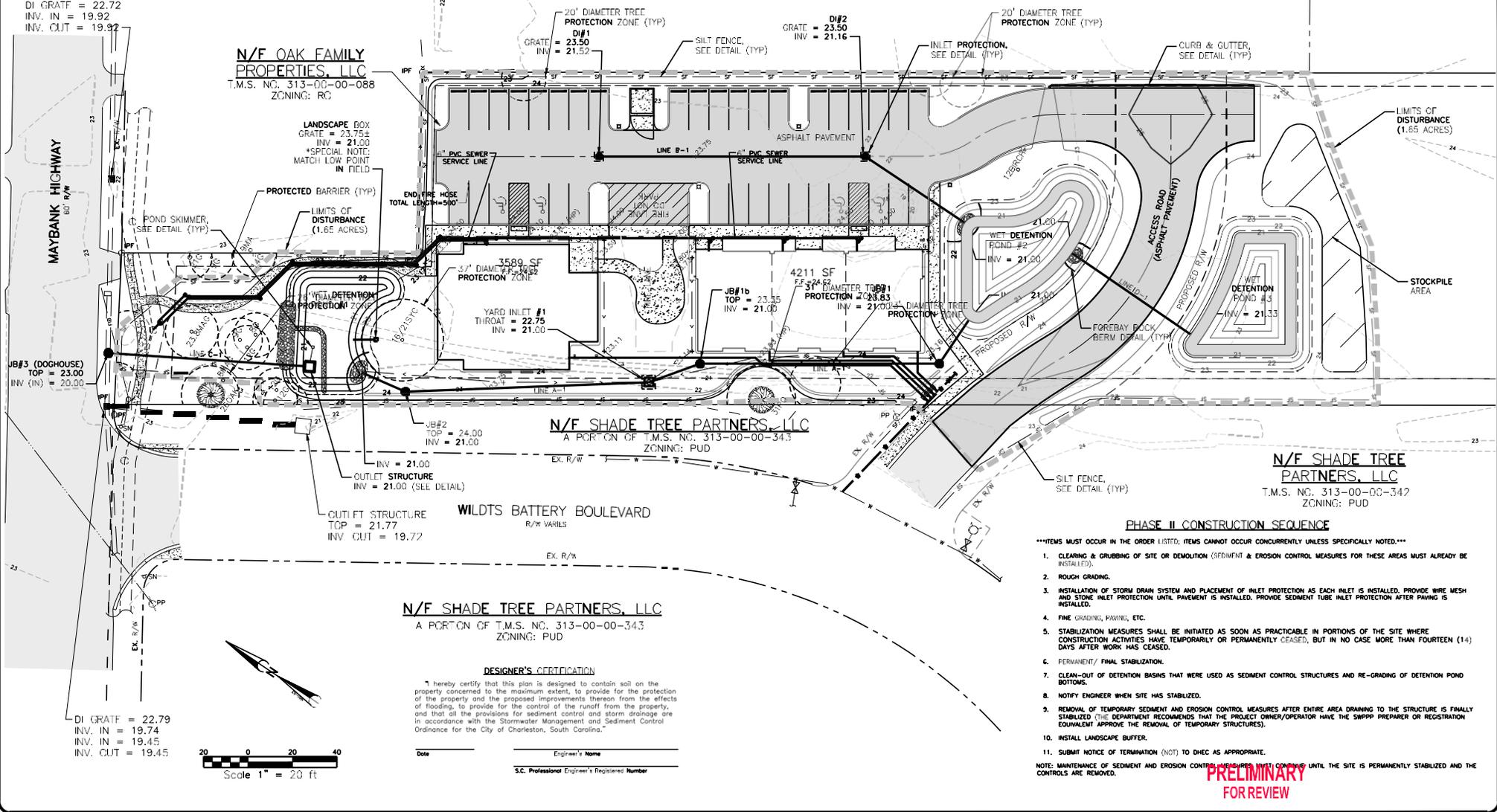
DRAWING NO. **4**
OF **18**
FILE NO.

**N/F JAMES COYNE &
LAURA VANDERMOERE**
T.M.S. NO. 313-00-00-089
ZONING: RC

DI GRATE = 22.72
INV. IN = 19.92
INV. OUT = 19.92

**N/F OAK FAMILY
PROPERTIES, LLC**
T.M.S. NO. 313-00-00-088
ZONING: RC

LANDSCAPE BOX
GRATE = 23.75±
INV = 21.00
*SPECIAL NOTE:
MATCH LOW POINT
IN FIELD



N/F SHADE TREE PARTNERS, LLC
A PORTION OF T.M.S. NO. 313-00-00-343
ZONING: PUD

**N/F SHADE TREE
PARTNERS, LLC**
T.M.S. NO. 313-00-00-342
ZONING: PUD

N/F SHADE TREE PARTNERS, LLC
A PORTION OF T.M.S. NO. 313-00-00-343
ZONING: PUD

DESIGNER'S CERTIFICATION

I hereby certify that this plan is designed to contain soil on the property concerned to the maximum extent, to provide for the protection of the property and the proposed improvements thereon from the effects of flooding, to provide for the control of the runoff from the property, and that all the provisions for sediment control and storm drainage are in accordance with the Stormwater Management and Sediment Control Ordinance for the City of Charleston, South Carolina.

Date _____ Engineer's Name _____
S.C. Professional Engineer's Registered Number _____

PHASE II CONSTRUCTION SEQUENCE

ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.

- CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED).
- ROUGH GRADING.
- INSTALLATION OF STORM DRAIN SYSTEM AND PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED. PROVIDE WIRE MESH AND STONE INLET PROTECTION UNTIL PAVEMENT IS INSTALLED. PROVIDE SEDIMENT TUBE INLET PROTECTION AFTER PAVING IS INSTALLED.
- FINE GRADING, PAVING, ETC.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED.
- PERMANENT/ FINAL STABILIZATION.
- CLEAN-OUT OF DETENTION BASINS THAT WERE USED AS SEDIMENT CONTROL STRUCTURES AND RE-GRADING OF DETENTION POND BOTTOMS.
- NOTIFY ENGINEER WHEN SITE HAS STABILIZED.
- REMOVAL OF TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER/OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).
- INSTALL LANDSCAPE BUFFER.
- SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC AS APPROPRIATE.

NOTE: MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES IS REQUIRED UNTIL THE SITE IS PERMANENTLY STABILIZED AND THE CONTROLS ARE REMOVED.

**PRELIMINARY
FOR REVIEW**

9/22/2020 10:52 AM MBRANTON P:\18-030\WORKS\CONSTRUCTION DWGS\GRADE PH II.DWG

NO	DATE	REVISION	BY

AMERICAN ENGINEERING CONSULTANTS, INC.
1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171
Phone: (803) 791-1400 • Fax: (803) 791-8110
Internet: www.aec-sc.com • Email: info@aec-sc.com

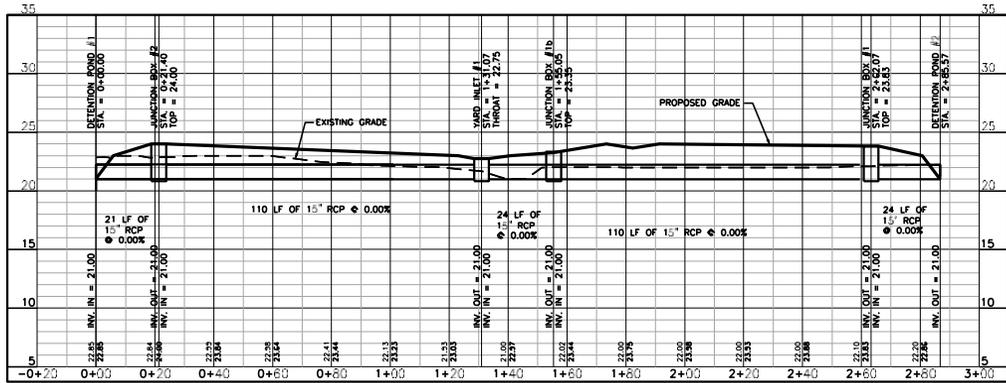


DATE (September 2020)	SCALE
DRAWN	AS SHOWN
CHECKED	CRW
JOB NO	18-030
DWG FILE	GRADE PH II
LAYOUT	LAYOUT1

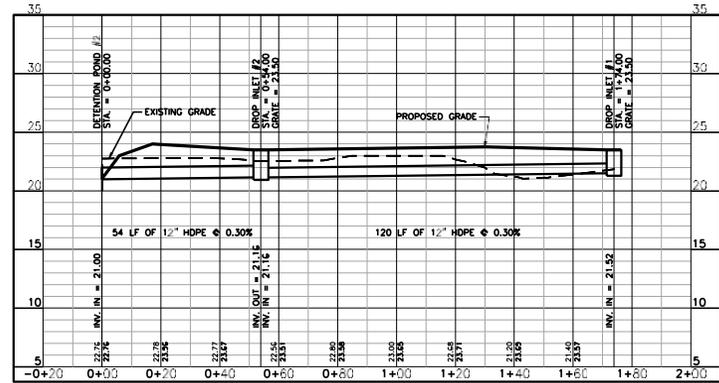
Maybank Medical Offices Project Phase I
PREPARED FOR
Oak Family Properties, LLC
City of Charleston, Charleston County, South Carolina
Proposed Grading Phase II Layout

DRAWING NO.
5
OF
18
FILE NO.

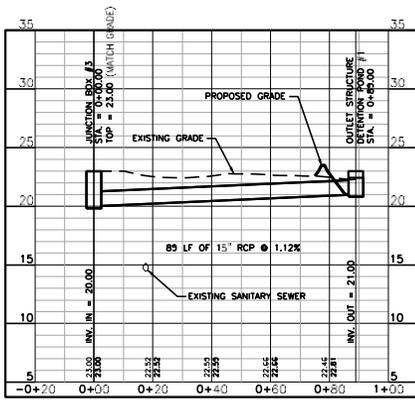
9/22/2020 10:45 AM MBRANTON P:\18-030\WORKS\CONSTRUCTION DWGS\SD PROFILE.DWG



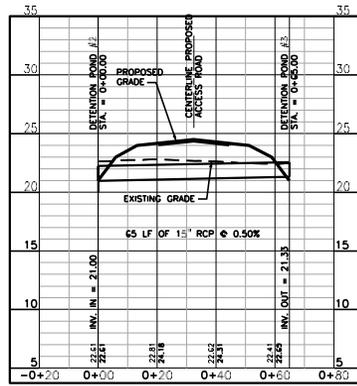
LINE A-1



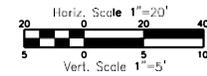
LINE B-1



LINE C-1



LINE D-1



**PRELIMINARY
FOR REVIEW**

NO	DATE	REVISION	BY

AMERICAN ENGINEERING CONSULTANTS, INC.
 1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171
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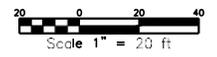
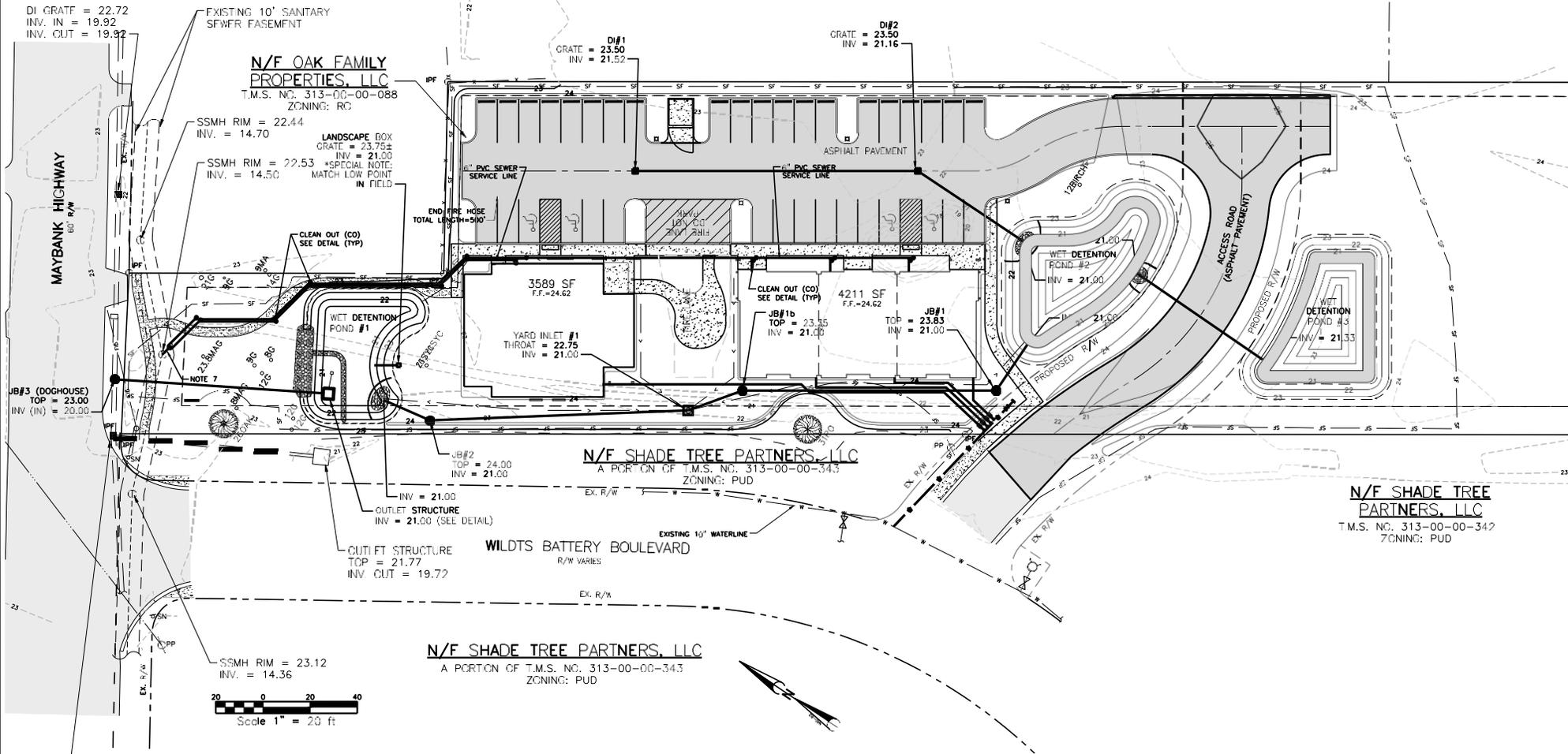


DATE	September, 2020
SCALE	AS SHOWN
DRAWN	---
CHECKED	CRW
JOB NO.	18-030
EXD FILE NO.	SD PROFILE
LAYOUT	LAYOUT1

Maybank Medical Offices Project Phase I
 PREPARED FOR
Oak Family Properties, LLC
 City of Charleston, Charleston County, South Carolina
 Storm Drain Profiles

DRAWING NO.
6
 OF
18
 FILE NO.

**N/F JAMES COYNE &
LAURA VANDERMOERE**
T.M.S. NO. 313-00-00-089
ZONING: RC



**PRELIMINARY
FOR REVIEW**

9/22/2020 11:04 AM MBRANTON.PA18-030.DWG'S CONSTRUCTION DWG'S UTILITY.DWG

NO	DATE	REVISION	BY

AMERICAN ENGINEERING CONSULTANTS, INC.
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DATE: September, 2020
SCALE: AS SHOWN
DRAWN: ---
DESIGNED: CRW
CHECKED: CRW
JOB NO: 18-030
DWG FILE: UTILITY
LAYOUT: LAYOUT1

Maybank Medical Offices Project Phase I
PREPARED FOR
Oak Family Properties, LLC
City of Charleston, Charleston County, South Carolina
Proposed Utility Layout

DRAWING NO. 7
OF 18
FILE NO.

**N/F JAMES COYNE &
LAURA VANDERMOERE**
T.M.S. NO. 313-00-00-089
ZONING: RC

**N/F OAK FAMILY
PROPERTIES, LLC**
T.M.S. NO. 313-00-00-088
ZONING: RC

N/F SHADE TREE PARTNERS, LLC
A PORTION OF T.M.S. NO. 313-00-00-343
ZONING: PUD

**N/F SHADE TREE
PARTNERS, LLC**
T.M.S. NO. 313-00-00-342
ZONING: PUD

N/F SHADE TREE PARTNERS, LLC
A PORTION OF T.M.S. NO. 313-00-00-343
ZONING: PUD

DI GRATF = 22.72
INV. IN = 19.92
INV. OUT = 19.92

EXISTING 10" SANITARY
SEWER PAVEMENT

SSMH RIM = 22.44
INV. = 14.70

SSMH RIM = 22.53
INV. = 14.50

PROTECTED BARRIER (TYP)

CLEAN OUT (CO)
SEE DETAIL (TYP)

3589 SF
F.F. = 24.62

4211 SF
F.F. = 24.62

WET DETENTION
POND #2

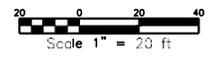
WET DETENTION
POND #3

OUTFIT STRUCTURE
TOP = 21.77
INV. OUT = 19.72

WILDT'S BATTERY BOULEVARD
R/W VARIES

EXISTING 10" WATERLINE

SSMH RIM = 23.12
INV. = 14.36



MAYBANK HIGHWAY
60' R/W

ACCESS ROAD
(ASPHALT PAVEMENT)

PROPOSED R/W

PROPOSED R/W

PROPOSED R/W

**PRELIMINARY
FOR REVIEW**

9/22/2020 11:23 AM MBRANTON PA 18-030-DWG'S CONSTRUCTION DWGS\FIRE.DWG

NO	DATE	REVISION	BY

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1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171
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DATE SHEET/REVISED	2020
SCALE	AS SHOWN
DRAWN	---
DESIGNED	CRW
CHECKED	CRW
JOB NO.	18-030
EXP. FILE	FIRE
LAYOUT	LAYOUT1

Maybank Medical Offices Project Phase I
PREPARED FOR
Oak Family Properties, LLC
City of Charleston, Charleston County, South Carolina
Fire Protection Layout

DRAWING NO.	8
OF	18
FILE NO.	

N/F JAMES COYNE &
LAURA VANDERMOERE
T.M.S. NO. 313-00-00-089
ZONING: RC

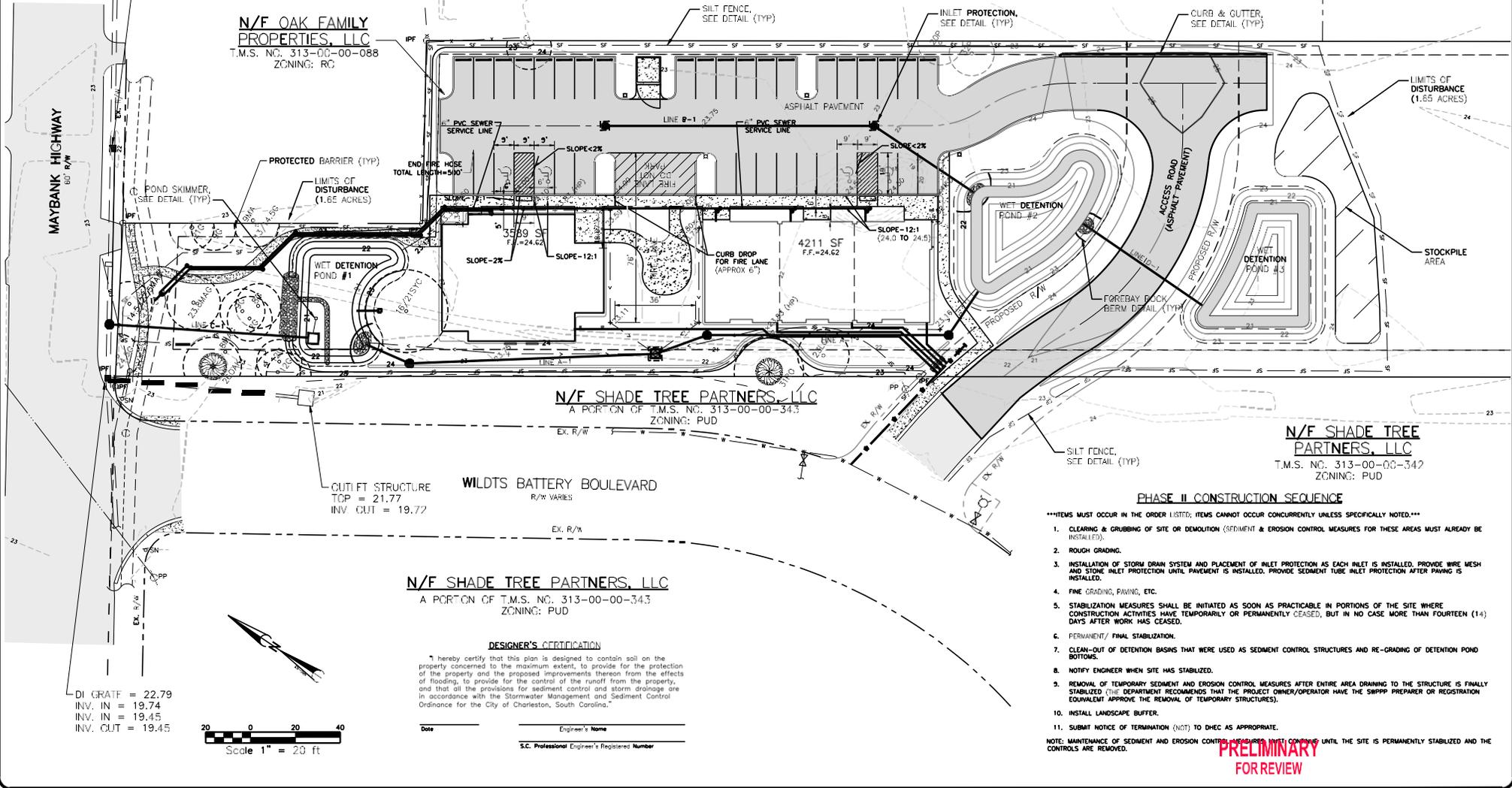
N/F OAK FAMILY
PROPERTIES, LLC
T.M.S. NO. 313-00-00-088
ZONING: RC

N/F SHADE TREE PARTNERS, LLC
A PORTION OF T.M.S. NO. 313-00-00-343
ZONING: PUD

N/F SHADE TREE
PARTNERS, LLC
T.M.S. NO. 313-00-00-342
ZONING: PUD

DI GRAT# = 22.72
INV. IN = 19.92
INV. OUT = 19.92

DI GRAT# = 22.79
INV. IN = 19.74
INV. IN = 19.45
INV. OUT = 19.45



PHASE II CONSTRUCTION SEQUENCE

- ***ITEMS MUST OCCUR IN THE ORDER LISTED; ITEMS CANNOT OCCUR CONCURRENTLY UNLESS SPECIFICALLY NOTED.***
- CLEARING & GRUBBING OF SITE OR DEMOLITION (SEDIMENT & EROSION CONTROL MEASURES FOR THESE AREAS MUST ALREADY BE INSTALLED).
 - ROUGH GRADING.
 - INSTALLATION OF STORM DRAIN SYSTEM AND PLACEMENT OF INLET PROTECTION AS EACH INLET IS INSTALLED. PROVIDE WIRE MESH AND STONE INLET PROTECTION UNTIL PAVEMENT IS INSTALLED. PROVIDE SEDIMENT TUBE INLET PROTECTION AFTER PAVING IS INSTALLED.
 - FINE GRADING, PAVING, ETC.
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED.
 - PERMANENT/ FINAL STABILIZATION.
 - CLEAN-OUT OF DETENTION BASINS THAT WERE USED AS SEDIMENT CONTROL STRUCTURES AND RE-GRADING OF DETENTION POND BOTTOMS.
 - NOTIFY ENGINEER WHEN SITE HAS STABILIZED.
 - REMOVAL OF TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AFTER ENTIRE AREA DRAINING TO THE STRUCTURE IS FINALLY STABILIZED (THE DEPARTMENT RECOMMENDS THAT THE PROJECT OWNER/OPERATOR HAVE THE SWPPP PREPARER OR REGISTRATION EQUIVALENT APPROVE THE REMOVAL OF TEMPORARY STRUCTURES).
 - INSTALL LANDSCAPE BUFFER.
 - SUBMIT NOTICE OF TERMINATION (NOT) TO DHEC AS APPROPRIATE.
- NOTE: MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES SHALL CONTINUE UNTIL THE SITE IS PERMANENTLY STABILIZED AND THE CONTROLS ARE REMOVED.

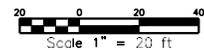
**PRELIMINARY
FOR REVIEW**

N/F SHADE TREE PARTNERS, LLC
A PORTION OF T.M.S. NO. 313-00-00-343
ZONING: PUD

DESIGNER'S CERTIFICATION

I hereby certify that this plan is designed to contain soil on the property concerned to the maximum extent, to provide for the protection of the property and the proposed improvements thereon from the effects of flooding, to provide for the control of the runoff from the property, and that all the provisions for sediment control and storm drainage are in accordance with the Stormwater Management and Sediment Control Ordinance for the City of Charleston, South Carolina.

Date _____ Engineer's Name _____
S.C. Professional Engineer's Registered Number _____



9/22/2020 11:27 AM MBRANTONC_PX18-000\DWGS\CONSTRUCTION_DWG\DRAWING

NO	DATE	REVISION	BY

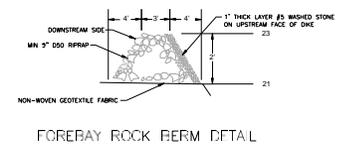
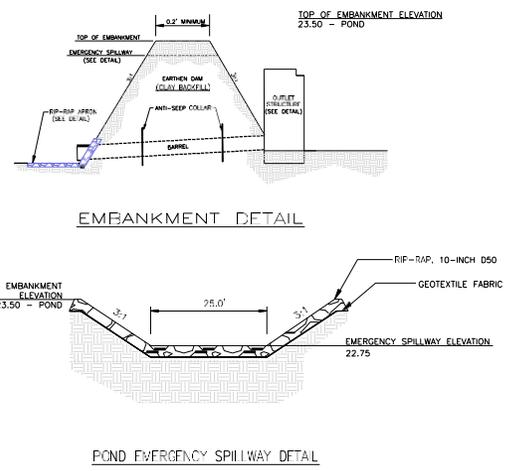
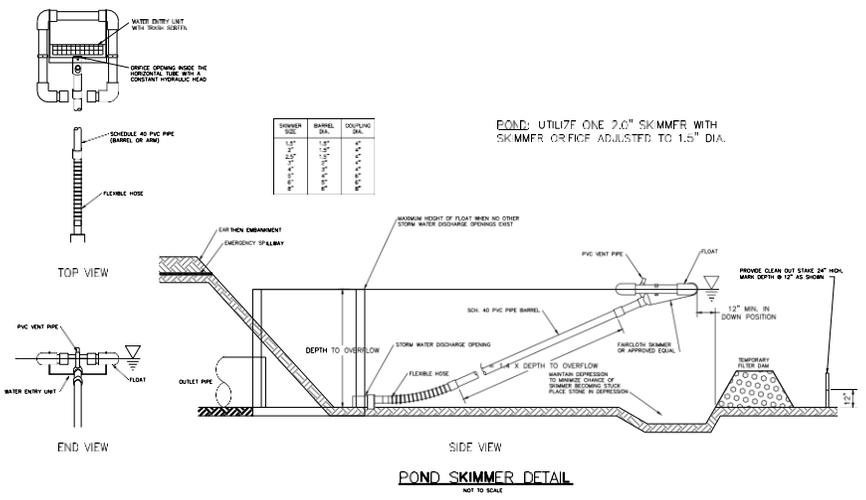
AMERICAN ENGINEERING CONSULTANTS, INC.
1300 12th Street, Suite A • P.O. Box 2299 • Cayce, SC 29171
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DATE	September, 2020
SCALE	AS SHOWN
DRAWN	---
DESIGNED	---
CHECKED	CBW
JOB NO.	18-0030
DWG FILE	ADA
LAYOUT	LAYOUT1

Maybank Medical Offices Project Phase I
PREPARED FOR
Oak Family Properties, LLC
City of Charleston, Charleston County, South Carolina
ADA Accessibility Layout

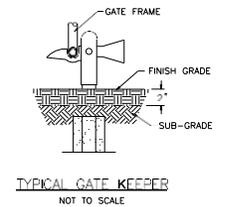
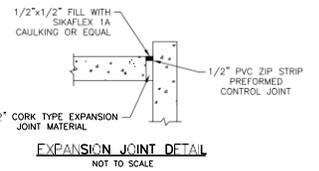
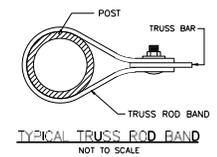
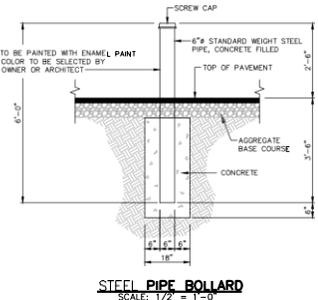
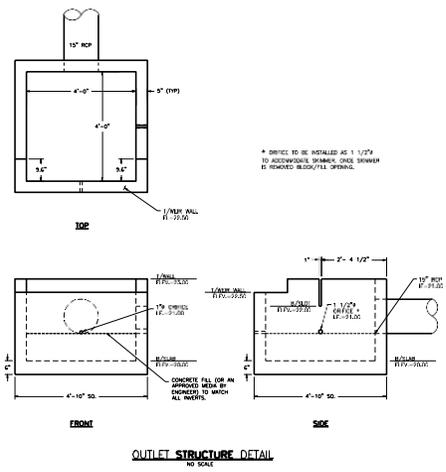
DRAWING NO.
9
OF
18
FILE NO.



TENSION LAP SPlice LENGTHS FOR GRADE 60 REINFORCING

BAR SIZE	3,000 psi CONCRETE *				4,000 psi CONCRETE *				
	TOP BARS		OTHER BARS		TOP BARS		OTHER BARS		
	A	B	A	B	A	B	A	B	
#3	16	21	13	16	#3	14	18	12	16
#4	22	28	17	22	#4	19	24	15	19
#5	27	35	21	27	#5	23	30	18	23
#6	32	42	25	32	#6	28	36	22	28
#7	38	49	29	38	#7	33	42	25	33
#8	45	59	35	45	#8	39	51	30	39
#9	57	74	44	57	#9	50	64	38	50
#10	73	94	56	73	#10	63	82	48	63
#11	89	116	69	89	#11	77	100	59	77

* NORMAL WEIGHT CONCRETE



PROVIDE 1 EA. GATE KEEPER PER LEAF AT LOCATION AS DIRECTED BY THE OWNER

PRELIMINARY FOR REVIEW

9/22/2020 11:54 AM MBRANTOG_PAN-18-030-DWG.DWG

NO	DATE	REVISION	BY

AEC AMERICAN ENGINEERING CONSULTANTS, INC.

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DATE (September 2020)	SCALE (AS SHOWN)
DRAWN (---)	CHECKED (CRW)
JOB NO (18-030)	EXP FILE (DETAILS)
LEVEL (DETAIL)	

Maybank Medical Offices Project Phase I

PREPARED FOR

Oak Family Properties, LLC

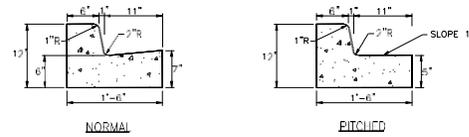
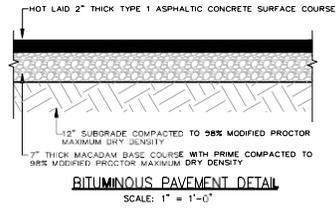
City of Charleston, Charleston County, South Carolina

Details

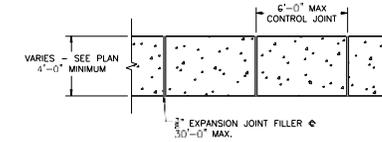
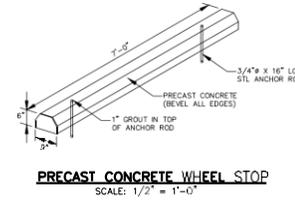
DRAWING NO. **D1**

OF **18**

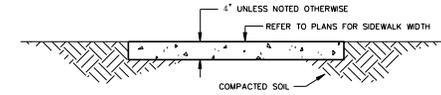
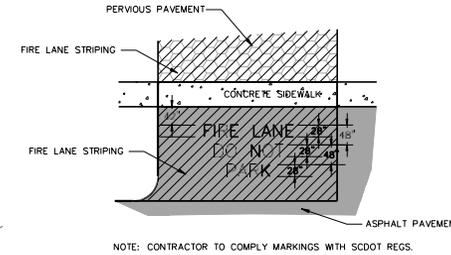
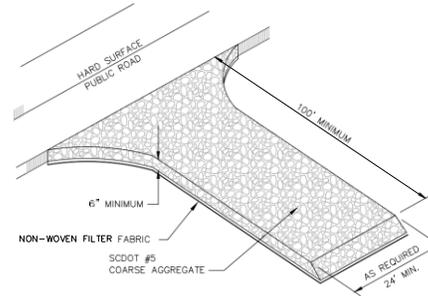
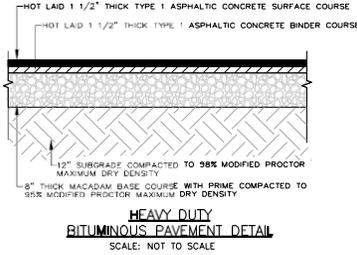
FILE NO.



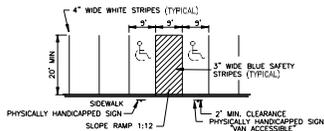
NOTES:
1. 3000 PSI CONCRETE
2. CONTROL JOINTS @ 10' MAX.
3. EXPANSION JOINTS @ 30' MAX.



NOTES:
1. SIDEWALK MINIMUM THICKNESS = 4"
2. PROVIDE EXPANSION JOINTS @ INTERSECTIONS OF WALKS AND WHERE THE WALK ABUTS OTHER STRUCTURES OR AS NOTED.
3. CONTROL JOINTS WILL BE SPACED EQUALLY (6'-0" MAXIMUM)
4. CONTROL JOINTS SHALL BE 1" DEEP.
5. USE 3000 PSI (28 DAY) CONCRETE WITH FIBERMESH ADMIXTURE. PROVIDE LIGHT BROOM FINISH.

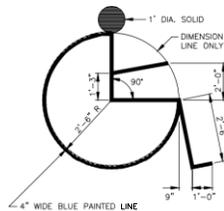


NOTE: INSTALL 1/2" EXPANSION JOINTS 30' O/C AND WHERE WALK ABUTS BUILDING, WALKS, OR OTHER CONSTRUCTION. SCORE WALK TO A DEPTH OF 3/4" AT 5' TO 6' O/C. USE 3000 PSI (28 DAY) CONCRETE WITH FIBERMESH ADMIXTURE. PROVIDE LIGHT BROOM FINISH.

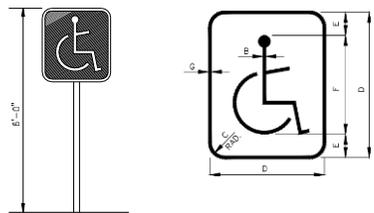


NOTE: REFER TO HANDICAP SIGN DETAIL, HANDICAP SYMBOL DETAIL AND HANDICAP RAMP DETAIL FOR ADDITIONAL DIMENSIONS AND SPECIFICATIONS.

HANDICAPPED PARKING DETAIL
NOT TO SCALE

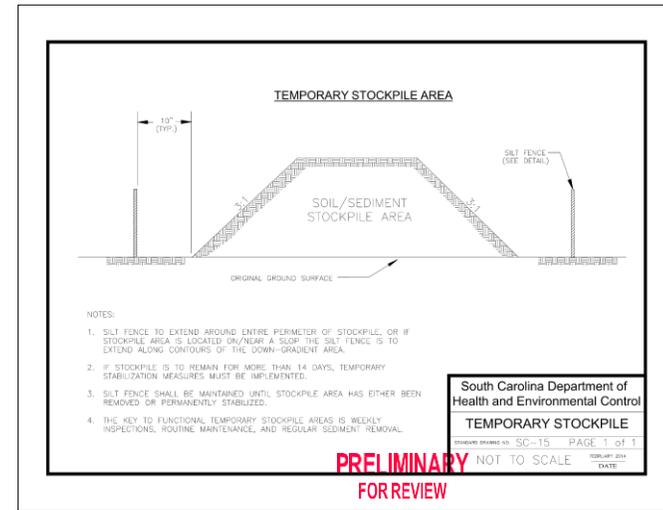


GRAVEL CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE



	B	C	D	E	F	G	VISIBILITY
(OUTDOOR)	1/2"	1 1/2"	24"	3"	18"	1"	HIGHWAY
(OUTDOOR)	1/4"	3/4"	8"	1"	6"	3/8"	60'+
(INDOOR)	1/4"	3/8"	4 1/2"	1/2"	3 1/2"	1/4"	25'+

COLORS: WHITE (REFLECTIVE) ON BLUE BACKGROUND WITHOUT BORDER; BLUE ON WHITE BACKGROUND
HANDICAP SIGN DETAIL
NOT TO SCALE



NOTES:
1. SILT FENCE TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE, OR IF STOCKPILE AREA IS LOCATED ON/NEAR A SLOPE THE SILT FENCE IS TO EXTEND ALONG CONTOURS OF THE DOWN-GRADIENT AREA.
2. IF STOCKPILE IS TO REMAIN FOR MORE THAN 14 DAYS, TEMPORARY STABILIZATION MEASURES MUST BE IMPLEMENTED.
3. SILT FENCE SHALL BE MAINTAINED UNTIL STOCKPILE AREA HAS EITHER BEEN REMOVED OR PERMANENTLY STABILIZED.
4. THE KEY TO FUNCTIONAL TEMPORARY STOCKPILE AREAS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR SEDIMENT REMOVAL.

South Carolina Department of Health and Environmental Control
TEMPORARY STOCKPILE
DESIGNED DRAWING NO. SC-15 PAGE 1 of 1
REVISED 02/14/2014 DATE

PRELIMINARY FOR REVIEW

9/22/2020 11:35 AM MBRANTOC_Plan 18-030-DWG DETAILS.DWG

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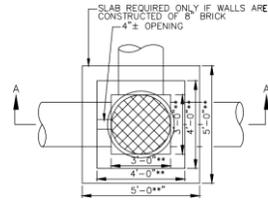
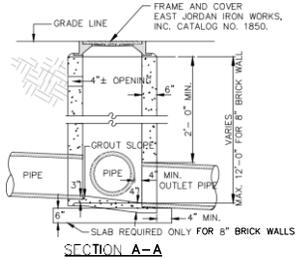
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JOB NO.	18-030
END FILE	DETAILS
REV	DETAIL 2

Maybank Medical Offices Project Phase I
PREPARED FOR
Oak Family Properties, LLC
City of Charleston, Charleston County, South Carolina
Details

DRAWING NO. **D2**
OF 18
FILE NO.



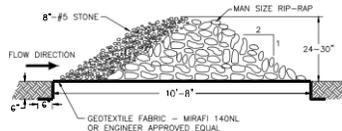
*NOTE: DIMENSION FOR 6" CONCRETE WALLS, ADD 4" FOR 8" BRICK WALLS.
 **NOTE: MINIMUM DIMENSIONS - ACTUAL SIZE MAY VARY. SEE NOTES BELOW FOR SIZE REQUIREMENTS.

PLAN

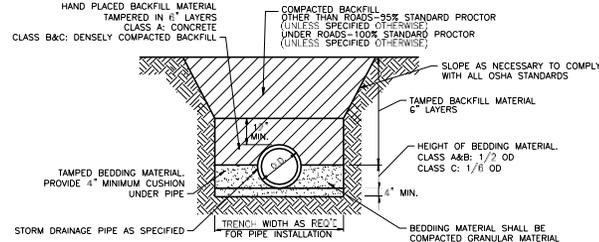
NOTES:

1. STORM MANHOLE MAY BE CONSTRUCTED OF CLASS 'A' CONCRETE OR 8" BRICK.
2. CONCRETE BOXES SHALL HAVE 6" THICK WALLS AND 4" THICK BOTTOM.
3. BRICK BOXES SHALL HAVE 8" THICK WALLS AND 6" THICK BOTTOM SLAB.
4. INSIDE DIMENSIONS OF JUNCTION BOX SHALL BE MINIMUM 3'-0" x 3'-0", UNLESS OTHERWISE NOTED.
5. AFTER FRAME AND GRATE ARE SET, FINAL 4" CLASS 'A' CONCRETE IS TO BE POURED FLUSH WITH THE OUTSIDE EDGE OF THE JUNCTION BOX ON ALL SIDES.
6. METAL STEPS ARE TO BE SET IN WALL IF BOXES DEPTH EXCEEDS 4'-6". SAID STEPS TO CONFORM TO S.C.D.H.P.I. DRAWING No. 719-1.
7. CORREL BRICK WORK AS REQUIRED ON BRICK BOXES TO PROVIDE 4" MINIMUM CLEARANCE BETWEEN PIPE AND BRICK WALLS.
8. ENDS OF ALL PIPES SHALL BE FLUSH WITH INSIDE WALL OF BOXES.
9. CONCRETE BOXES CONSTRUCTED ON SANDY SOIL SHALL HAVE 1/2" REINFORCING STEEL PLACED 8" O/C HORIZONTAL AND 14" O/C VERTICAL WITH 2" CLEARANCE FROM INSIDE FACE OF CONCRETE.
10. FOR PIPES 30" I.D. OR LESS USE MINIMUM 4'-0" x 4'-0" BOX, UNLESS OTHERWISE NOTED.
11. FOR PIPES OVER 30" I.D. MAKE LENGTH & WIDTH OF C.B. + O.D. OF PIPE + 6" EA. SIDE.

STORM DRAINAGE JUNCTION BOX
NOT TO SCALE



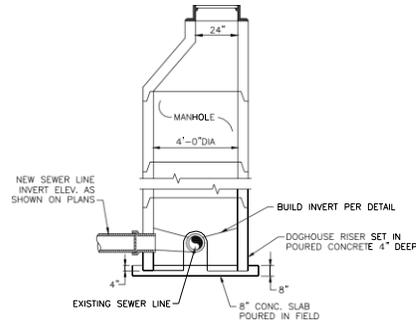
RIP-RAP FILTER BERM
NOT TO SCALE



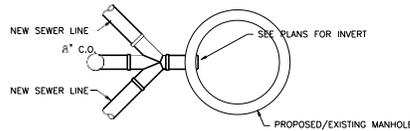
NOTES:

1. THE PIPE IS TO BE BEDDED IN COMPACTED 6" LAYERS TO THE SPRING LINE FIRST, THEN BACKFILLED WITH HAND PLACED MATERIAL COMPACTED IN 6" LAYERS TO A DEPTH OF 1" MINIMUM ABOVE THE PIPE. BALANCE OF BACKFILL SHALL BE PLACED IN A MANNER TO INSURE COMPACTION AS SPECIFIED.
2. IN AREAS WHERE DITCH LINE WILL BE LESS THAN THREE (3) FEET FROM THE EDGE OF EXISTING PAVEMENT, FLOWABLE FILL MAY BE REQUIRED. FOR BACKFILL MATERIAL, CONSULT ENCRUMCHMENT PERMITS FOR SPECIFIC REQUIREMENTS IN THIS REGARD.

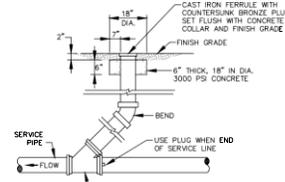
STANDARD STORM DRAINAGE BEDDING AND BACKFILLING DETAIL
NOT TO SCALE



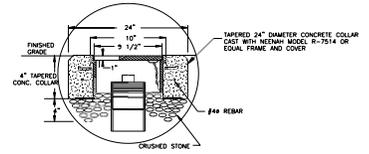
CONSTRUCT MANHOLE OVER STORM SEWER LINE
NOT TO SCALE



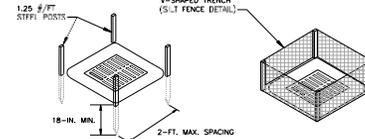
DUAL (SEWER CONNECTION) TIE-IN TO MANHOLE
NOT TO SCALE



GRADE CLEANOUT (G.C.O.)
NOT TO SCALE

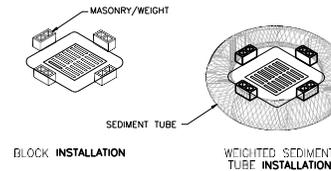


SERVICE CLEANOUT DETAIL
NOT TO SCALE

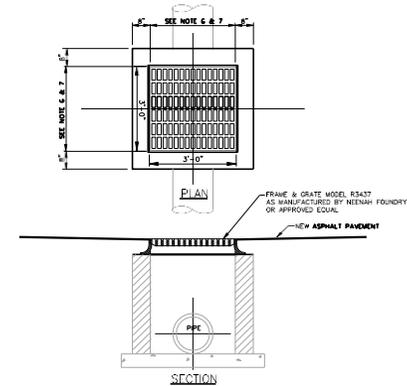


SILT FENCE INLET PROTECTION

(GRASS OR NEWLY GRADED AREAS) DETAIL
NOT TO SCALE



SEDIMENT TUBE INLET PROTECTION (PAVED AREAS) DETAIL
NOT TO SCALE



NOTES:

1. ALL CONCRETE SHALL BE 3000 PSI.
2. CONCRETE BRICK WALLS SHALL HAVE A 1/4" MORTAR COAT ON INSIDE SURFACE.
3. WALL THICKNESS IS TO BE 12" IF BOX DEPTH EXCEEDS 12'-0".
4. ALL MATERIALS AND CONSTRUCTION ARE TO COMPLY WITH SECTION 719 OF THE SCDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
5. REINFORCED CONCRETE MAY BE SUBSTITUTED FOR BRICK WALLS. REINFORCING TO BE #4 BARS @ 12" E.A.
6. FOR PIPES 30" I.D. OR LESS USE MINIMUM 4'-0" x 4'-0" BOX, UNLESS OTHERWISE NOTED.
7. FOR PIPES OVER 30" I.D. MAKE LENGTH & WIDTH OF C.B. + O.D. OF PIPE + 6" EA. SIDE.

PRELIMINARY TYPE
SCALE: NOT TO SCALE
FOR REVIEW

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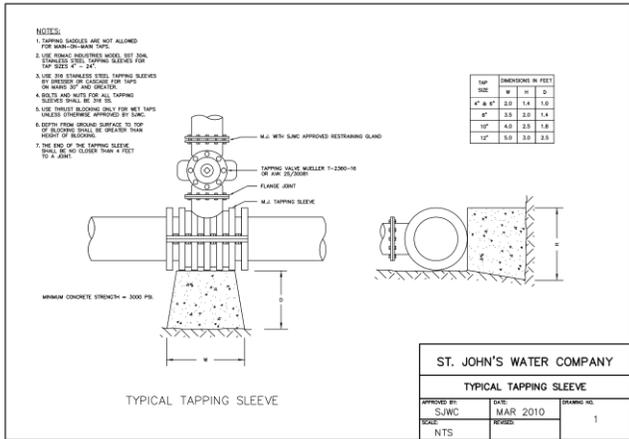
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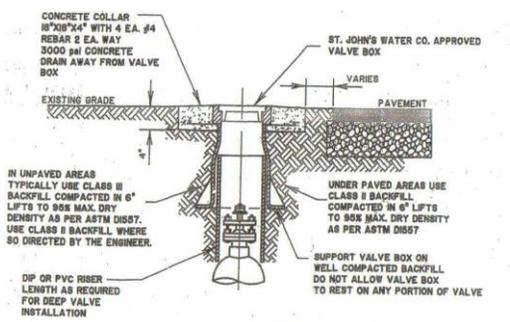
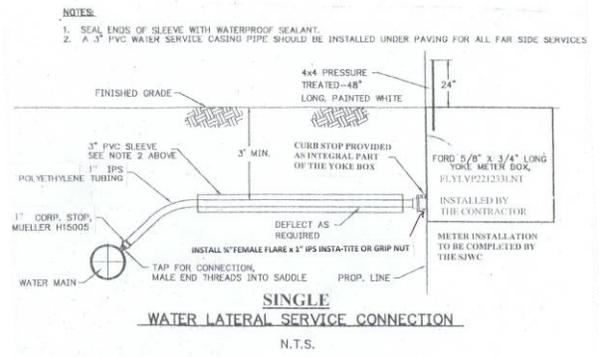
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JOB NO: 18-030
EXP. FILE: DETAILS
EVENT: DETAIL 3

Maybank Medical Offices Project Phase I
 PREPARED FOR
Oak Family Properties, LLC
 City of Charleston, Charleston County, South Carolina
 Details

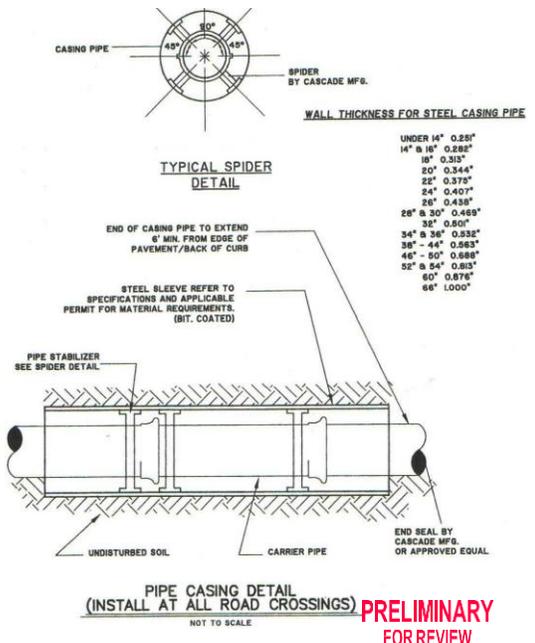
DRAWING NO. **D3**
 OF 18
 FILE NO.



ST. JOHN'S WATER COMPANY	
TYPICAL TAPPING SLEEVE	
APPROVED BY: SJWC	DATE: MAR 2010
NTS	REVISION: 1



- NOTES:**
- CENTER VALVE BOX OVER OPERATING NUT TO INSURE FREE VALVE OPERATION.
 - USE 6" RISER PIPE ON 4" AND 6" VALVES.
 - USE 8" RISER PIPE ON 8" VALVES AND LARGER.



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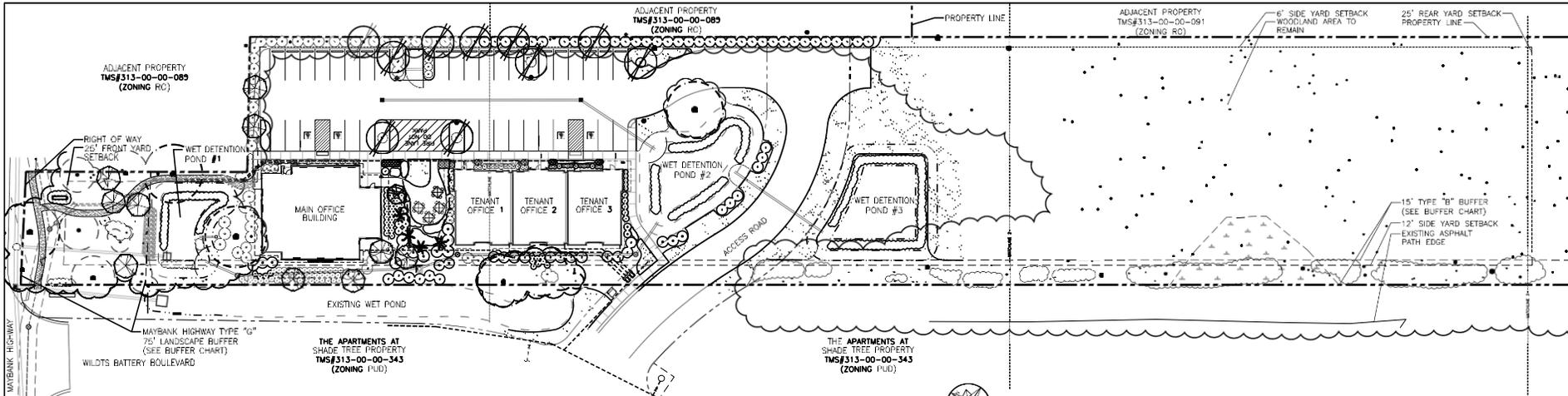
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LAYOUT: DETAILS 5

Maybank Medical Offices Project Phase I
 PREPARED FOR
Oak Family Properties, LLC
 City of Charleston, Charleston County, South Carolina
 Details

DRAWING NO.: D5
 OF 18
 FILE NO.:



PRELIMINARY PLANT SCHEDULE

QUANTITY/ABBRV	BOTANICAL/COMMON	HEIGHT	SPREAD	CONT	CAL/SEATING	NOTES
4	QUEN Quercus Nuttalii	10'min	3'min	B&B/Cont	3"	Well Formed
2	QUFP Quercus Frieselsii	10'min	3'min	B&B/Cont	3"	Well Formed
4	ULPC Ulmus Parvifolius	10'min	4'min	B&B/Cont	3"	Well Formed
4	UNDERSTORY CERF Cercis Canadensis	7'min	3'min	B&B/Cont	=	Well Formed
2	CHV Chionochloa Viridula	7'min	3'min	B&B/Cont	=	Well Formed
1	ILEA Ilex x Alternata 'Savannah'	7'min	25 Gal	=	=	Well Formed
3	JUNV Juniperus Horizontalis 'Burgki'	10'min	4'min	25 Gal	=	Well Formed
1	MAGR Magnolia Stellata 'Royal Star'	6'min	3'min	15 Gal	=	Well Formed
2	SABP(S) Sabal Palmetto	14'min	=	Bare Root	=	Full Specimen 10' clear trunk
1	SABP(B) Sabal Palmetto	12'min	=	Bare Root	=	Full Specimen 8' clear trunk
1	SABP(C) Sabal Palmetto	8'min	=	Bare Root	=	Full Specimen 5' clear trunk
5	SHRUBS AZEK Azalea x Cotoneaster Hybrid	24'min	24'min	1 Ga	=	Plant Fully
11	CALA Calliandra Americana	30'min	24'min	7 Ga	=	Plant Fully
1	CALC Callistemon Citrinus	42'min	24'min	15 Gal	=	Plant Fully
5	CALV Callistemon Viminalis 'Little John'	15'min	15'min	1 Ga	=	Plant Fully
30	FARG Ficus sp. 'Gigantea'	18'min	18'min	3 Ga	=	Plant Fully
3	ILES Ilex Cornuta 'Sky Pencil'	36'min	18'min	7 Ga	=	Plant Fully
21	ILEV Ilex Vomitoria	48'min	30'min	15 Gal	=	Plant Fully
6	ITEV Itea Viridula 'Henry's Garnet'	30'min	24'min	7 Ga	=	Plant Fully
3	LIGL Ligustrum Lucidum	30'min	24'min	7 Ga	=	Plant Fully
4	LIGS Ligustrum Sinense 'Sunshine'	24'min	18'min	3 Ga	=	Plant Fully
22	LORP Loropetalum Chinensis	30'min	30'min	7 Ga	=	Plant Fully
83	MULF Mulanbarrina Capillaris	24'min	18'min	1 Ga	=	Plant Fully
47	MVRC Miscanthus Floridulus	36'min	30'min	7 Ga	=	Plant Fully
4	PITT Pittosporum Tobira 'Variegata'	36'min	30'min	7 Ga	=	Plant Fully
12	PODO Podocarpus Neriifolius	36'min	18'min	7 Ga	=	Plant Fully
3	ROSH Rosmarinus Officinalis 'Miss Jessop's Upright'	18'min	12'min	1 Ga	=	Plant Fully
6	SABV Sabal Minor	30'min	24'min	7 Ga	=	Plant Fully
4	VIBS Viburnum Suspensum	30'min	24'min	7 Ga	=	Plant Fully
200	ANNNS Annual Sp.	=	=	2" Pot	10' x 20'	Coordinate w/landscape on selection & availability
12	DIAT Dionella Toamonica 'Variegata'	12"	12"	1 Ga	=	Plant Fully
30	HAMP Hamamelis Virginiana	8"	8"	4" Pot	=	Plant Fully
0	LANF Lantana	8"	8"	4" Pot	=	Plant Fully
55	LIRE Ligustrum Muscoul 'Evergreen Giant'	12"	8"	1 Ga	=	Plant Fully
50	OPIL Opuntia Inermis 'Nana'	6"	6"	4" Pot	=	Plant Fully
20	SETP Setcreasea Pallida	8"	8"	4" Pot	=	Plant Fully
17	TULV Tulbaghia Violacea 'Tricolor'	8"	8"	4" Pot	=	Plant Fully
GRASS	SOC Centaurea					Install level and maintain until no gaps 1/2" or greater

REQUIRED LANDSCAPE BUFFER CHART

CITY OF CHARLESTON - LANDSCAPE BUFFER REQUIREMENTS

ADJACENT PROPERTY (RESIDENTIAL USE) -TYPE B 15' LANDSCAPE BUFFER	REQUIRED VEGETATION PER 100'	TOTAL BUFFER LENGTH	REQUIRED VEGETATION FOR LENGTH OF BUFFER	PROVIDED VEGETATION FOR LENGTH OF BUFFER
3 RECOMMENDED	12 UNDERSTORY TREES (50% EVERGREEN)	69'	(8) RECOMMENDED (50% EVERGREEN)	(8) RECOMMENDED (ALL EXISTING TREES)
4 UNDERSTORY TREES	35 SHRUBS (50% EVERGREEN)	78'	(8) UNDERSTORY TREES (50% EVERGREEN)	(8) UNDERSTORY TREES (INCLUDES EXISTING TREES PLUS 4 PROPOSED)
2 SHRUBS			(24) SHRUBS (50% EVERGREEN)	(24) SHRUBS (INCLUDES EXISTING SHRUBS & TREES)

LITTORAL SHELF PRE & POST PLANTING CARE

- 1.PRIOR TO PLANTING APPLY A HERBICIDE TO PLANTING AREA TO REMOVE ALL VEGETATION EXCEPT NOTED ON PLAN TO REMAIN. THIS INCLUDES ALL INVASIVE SPECIES INCLUDING CATTAILS.
- 2.DURING & POST PLANTING HAND REMOVE ANY EMERGING WEEDS EVERY 30 DAYS UNTIL PLANTINGS FILL PLANTING AREA (2 YEARS).
- 3.POST 2 YEAR GROW IN SEASONALLY SINKING PLANTING AREAS FOR WEEDS & INVASIVE SPECIES ESTABLISHMENT & REMOVE. IF ESTABLISHMENT HAS KILLED OFF A PLANTING AREA, APPLY HERBICIDE & REPLANT.
- 4.FOR ALL SURROUNDING SIDE SLOPES TO TOP OF BANKS, DO NOT PLANT WOODY SHRUBS OR TREES. ADDITIONAL GRASS SPECIES ARE ACCEPTABLE & ENCOURAGED ALONG LITTORAL SHELF BOUNDARY. REFERENCE FOR TOPLANDS: <http://hgic.clemson.edu/factsheet/shorescaping-freshwater-shorelines/> FOR ACCEPTABLE SPECIES.
- 5.FOR ALL SIDE SLOPES PESTICIDES & FERTILIZERS SHOULD BE AVOIDED BECAUSE OF POTENTIAL RUNOFF INTO LITTORAL SHELF PLANTINGS & POND. FOR REMOVAL OF INVASIVE SPECIES USE A HACK & SQUIRT METHOD OF APPLICATION OF A SYSTEMIC HERBICIDE DIRECTLY & CUT STEM OF THE UNDESIRABLE PLANT.
- 6.SEASONALLY INSPECT ALL OUTFALLS & CUT BACK OR REMOVE ANY PLANTINGS BLOCKING OR DISRUPTING FLOW INTO OUTFLOW STRUCTURES.

PLANT SCHEDULE EXPLANATORY NOTES:

- 1.THE FOLLOWING PLANT SCHEDULES ARE PREPARED AS A SELECTION OF PLANTING MATERIALS.
- 2.WHERE AN ABBREVIATION IS SHOWN, FOLLOWING NOTES APPLY:
 QUNTY - QUANTITY OF PLANT MATERIALS REQUIRED FOR PROJECT.
 (NOTE: CONTRACTOR RESPONSIBLE TO VERIFY QUANTITIES INDICATED.)
 ABBRV - BOTANICAL ABBREVIATION.
 BOTANICAL/COMMON - NAME OF PLANT MATERIAL.
 HEIGHT - HEIGHT OF PLANT MATERIAL.
 SPREAD - DIAMETER OF PLANT MATERIAL.
 CONT - CONTAINER TYPE WHICH PLANT MATERIAL IS ENCASED UPON SITE DELIVERY.
 (NOTE: SHALL TAKE PRECEDENCE OVER CONTAINER).
 SPACING - DISTANCE FROM CENTER OF EACH PLANT (PLAN SHALL TAKE PRECEDENCE OVER SCHEDULE).
 CAL - CALIPER/DIAMETER OF TRUNK. (REFER TO SPECS FOR MORE SPECIFIC INFORMATION).
 CALPER SHALL TAKE PRECEDENCE OVER HEIGHT & SPREAD.
 NOTES - SPECIFIC NOTES FURTHER SPECIFYING OR DESCRIBING PLANT MATERIAL.
- 3.VERIFY QUANTITIES SHOWN ON PLANT SCHEDULE AND PLANT MATERIAL SHOWN ON PLANTING PLAN.



TOMBLIN COMPANY, LLC
 LANDSCAPE ARCHITECTURE
 LAND PLANNING
 HISTORIC RENOVATION
 AMERICAN SOCIETY
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LANDSCAPE ARCHITECTURAL SERVICES
 FOR
OAK FAMILY DENTISTRY
 2212 MAYBANK HIGHWAY, JONES ISLAND - INDEPENDENCE, SC 29556
 OAK FAMILY PROPERTIES, LLC
 CITY OF CHARLESTON - SOUTH CAROLINA

JOB NUMBER
020155

DATE
03/22/20

CREATED BY
CJ

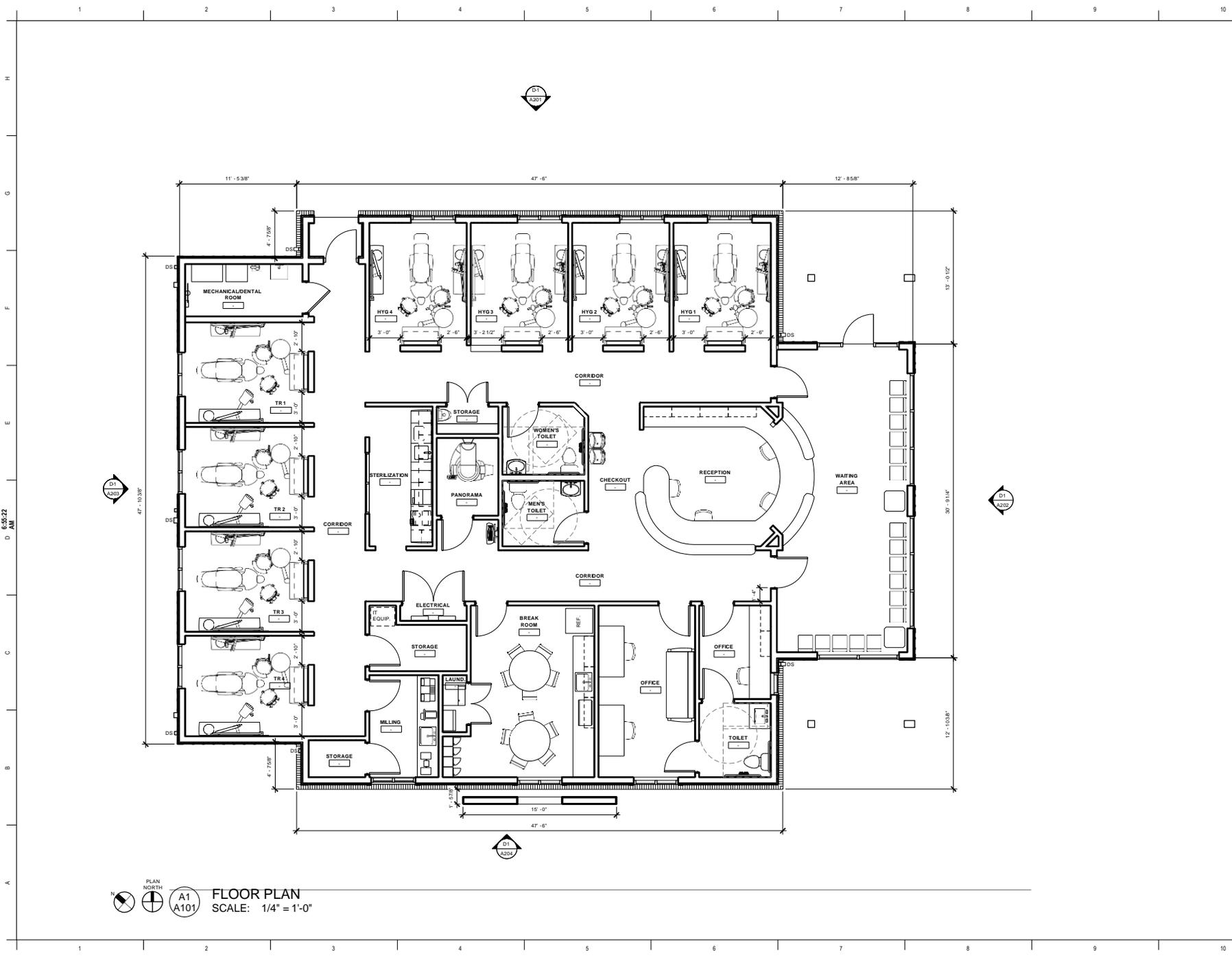
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SHEET TITLE
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PLAN WITH
BUFFER CHART,
PLANT SCHEDULE
& NOTES

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PLAN NORTH
 A1010 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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 671 S. Andrew Blvd., Charleston, SC 29407
 Phone: 843.763.7064 Fax: 843.763.7061
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09.23.2020

MAYBANK MEDICAL OFFICES
 OAK FAMILY DENTISTRY
 MAYBANK HIGHWAY
 JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

CCDRB CONCEPTUAL SUBMITTAL
 09.23.2020

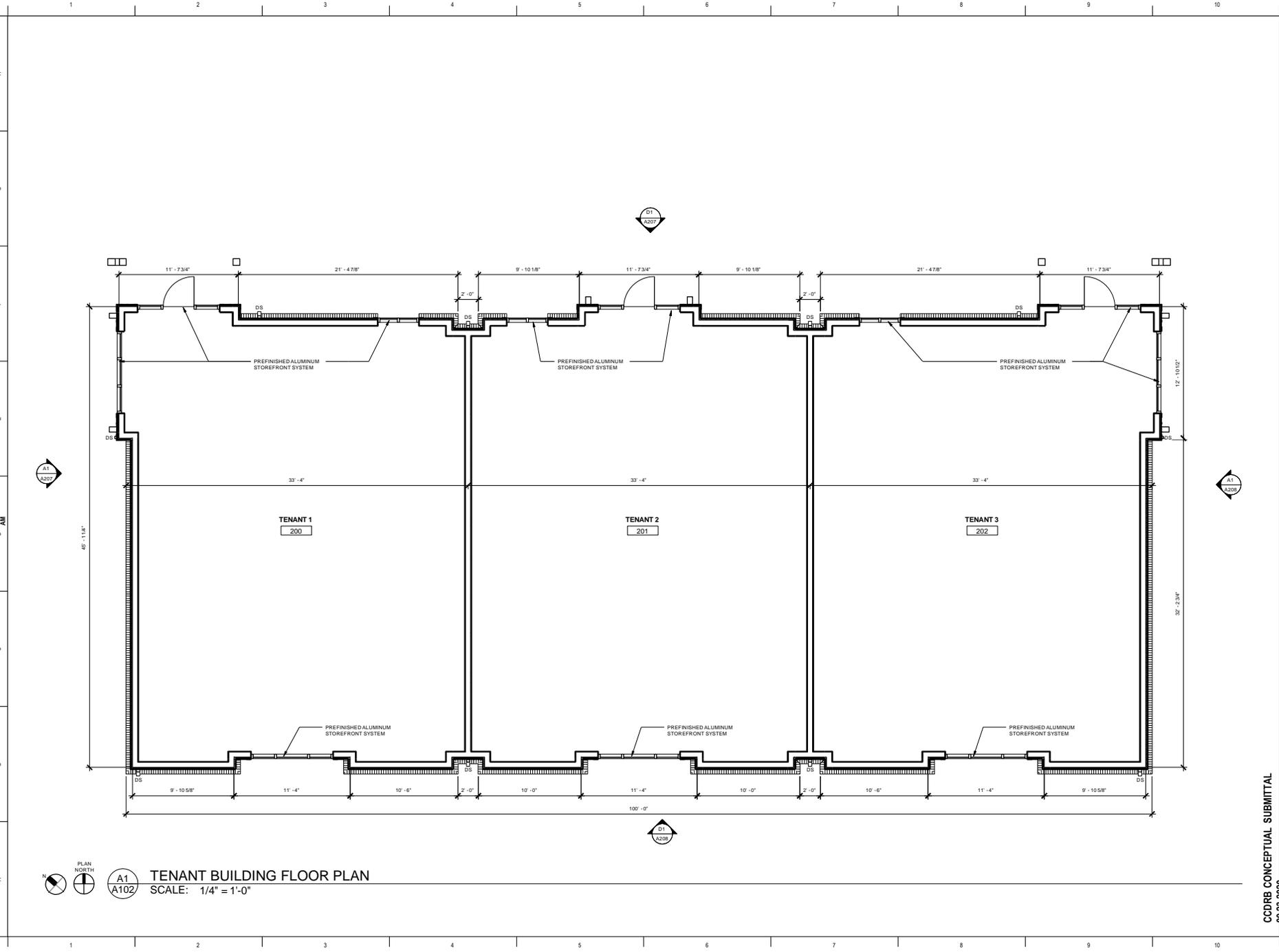
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OFFICE FLOOR PLAN

A10

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TENANT BUILDING FLOOR PLAN
SCALE: 1/4" = 1'-0"

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MAYBANK MEDICAL OFFICES
TENANT BUILDING
MAYBANK HIGHWAY
JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

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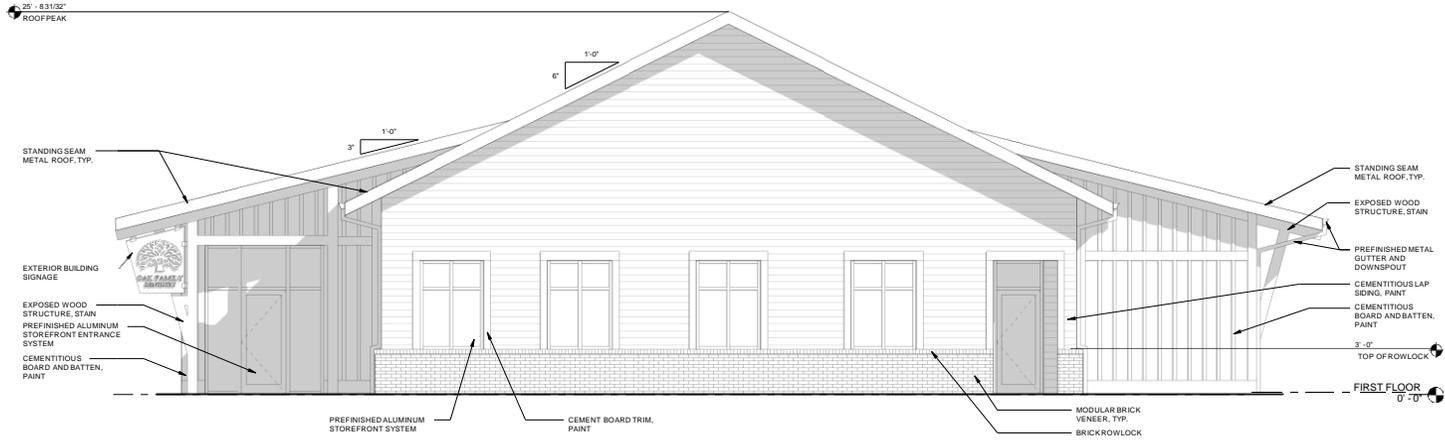
FLOOR PLAN

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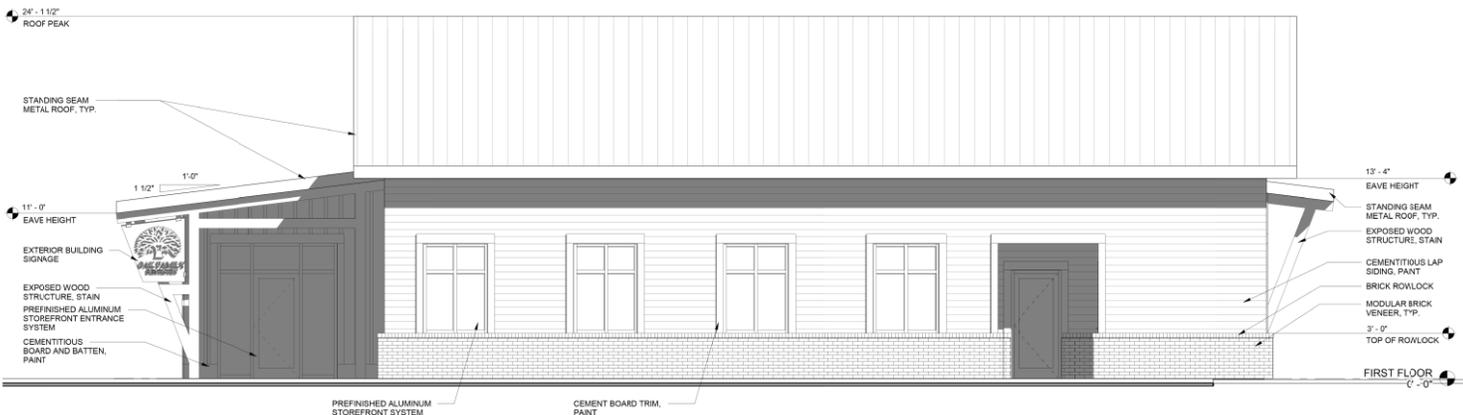
A10

2

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D1
A201 EAST ELEVATION - PARKING LOT SIDE
SCALE: 1/4" = 1'-0"



A1
A201 EAST ELEVATION - PARKING LOT SIDE - PREVIOUS SUBMITTAL
SCALE: 1/4" = 1'-0"

coast
architects
671 S. Andrew Blvd., Charleston, SC 29407
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www.coastarchitects.com

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CONSTRUCTION

09.23.2020

MAYBANK MEDICAL
OFFICES
OAK FAMILY
DENTISTRY MAYBANK
HIGHWAY
JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: MCC
CHECKED BY: GZJ
DATE: 09.23.2020
COAST PROJECT NO.: 1822.00

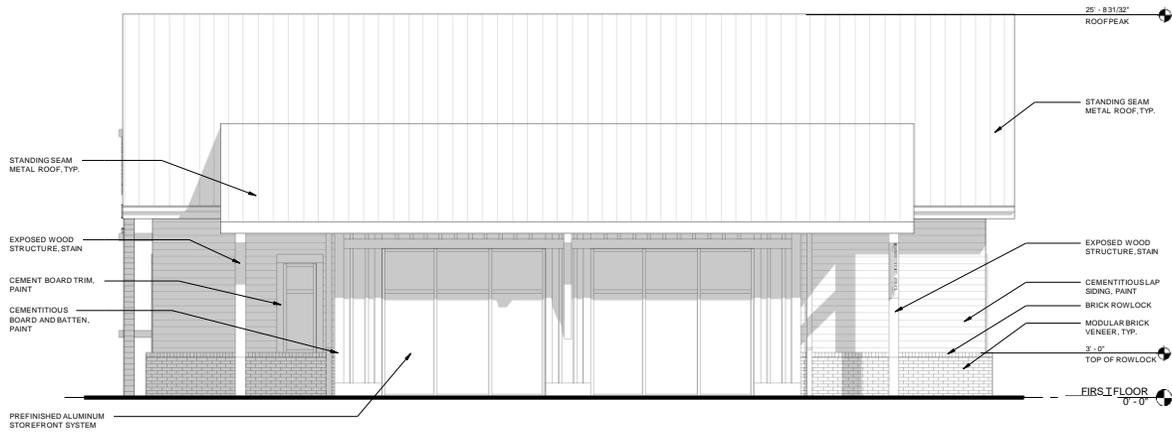
EXTERIOR
ELEVATION
S

A20

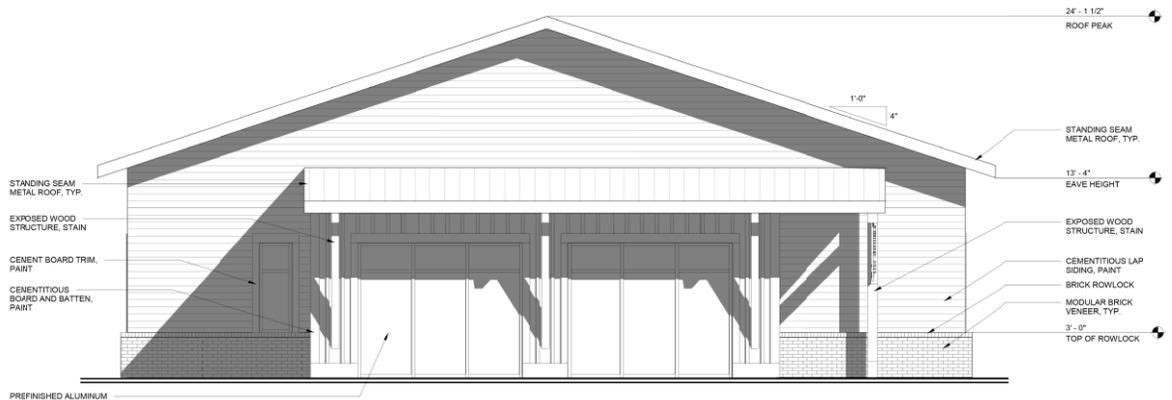
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1 2 3 4 5 6 7 8 9 10



D1
A202 SOUTH ELEVATION - WAITING AREA SIDE
SCALE: 1/4" = 1'-0"



A1
A202 SOUTH ELEVATION - WAITING AREA SIDE - PREVIOUS SUBMITTAL
SCALE: 1/4" = 1'-0"

1 2 3 4 5 6 7 8 9 10

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Rev. No.	Rev. Date

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DATE: 09.23.2020
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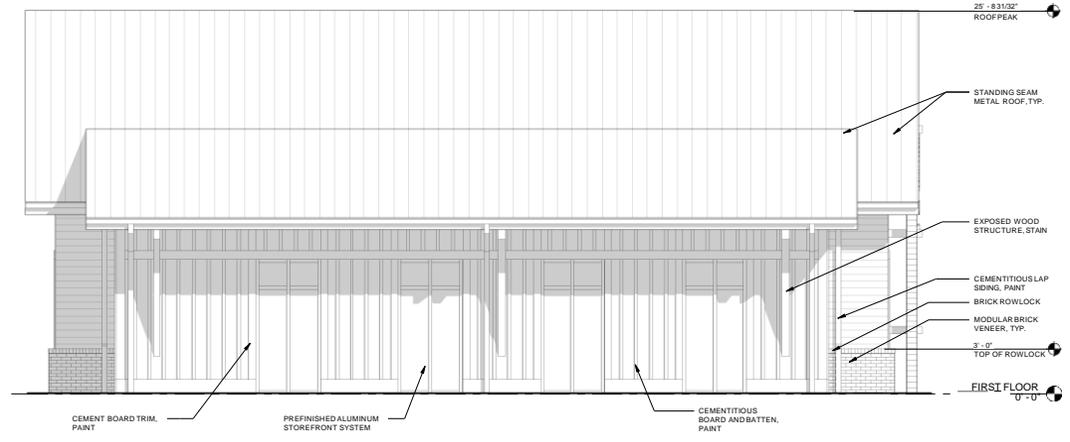
EXTERIOR
ELEVATION
S

A20

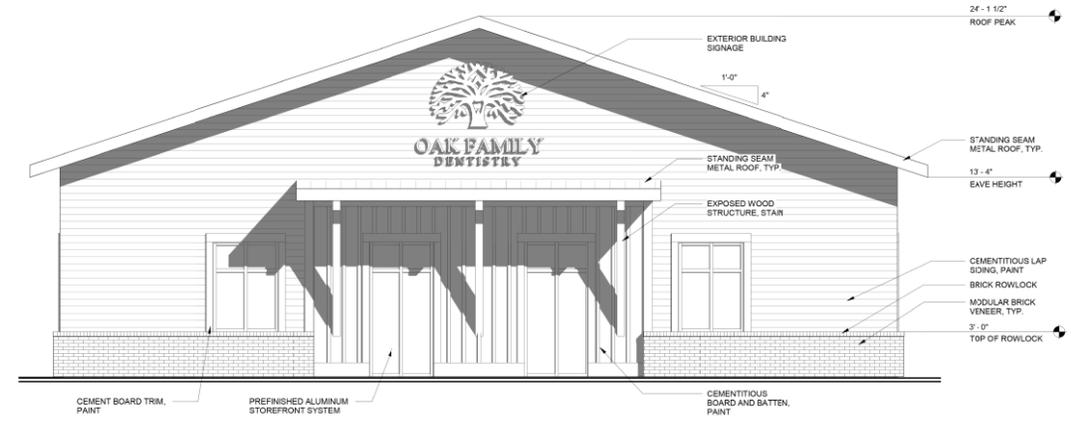
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D1
A203 NORTH ELEVATION - MAYBANK HIGHWAY SIDE
SCALE: 1/4" = 1'-0"



A1
A201 NORTH ELEVATION - MAYBANK HIGHWAY SIDE - PREVIOUS SUBMITTAL
SCALE: 1/4" = 1'-0"

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Revisions	
Rev. No.	Rev. Date

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DATE: 09.23.2020
COAST PROJECT NO. 1822.00

EXTERIOR
ELEVATION
S

A20

3

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VIEW OF MAIN ENTRANCE FROM PARKING LOT - NEW



VIEW OF MAIN ENTRANCE FROM PARKING LOT - PREVIOUS

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08.13.2020

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HIGHWAY

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Revisions	
Rev. No.	Rev. Date

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CHECKED BY: CRZ
DATE: 08.13.2020
COAST PROJECT NO. 1822.00

PERSPECTIVE
SKETCHES

A20

5

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09-23-2020

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VIEW FROM WILDT'S BATTERY - NEW



VIEW OF SIDE FACING MAYBANK HIGHWAY - PREVIOUS

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09.23.2020

**MAYBANK MEDICAL
OFFICES
OAK FAMILY
DENTISTRY MAYBANK
HIGHWAY**
JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

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DATE: 09.23.2020
COAST PROJECT NO.: 1822.00

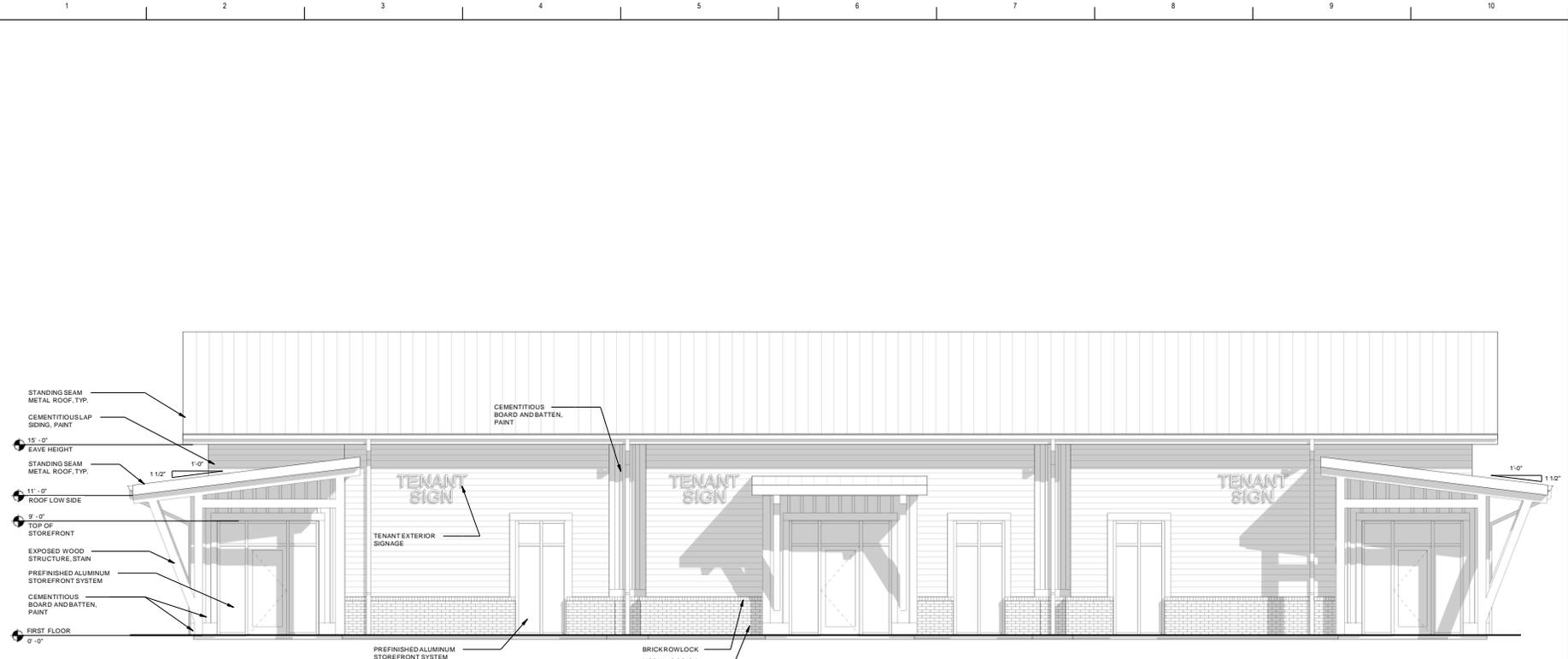
PERSPECTIVE
SKETCHES

A20

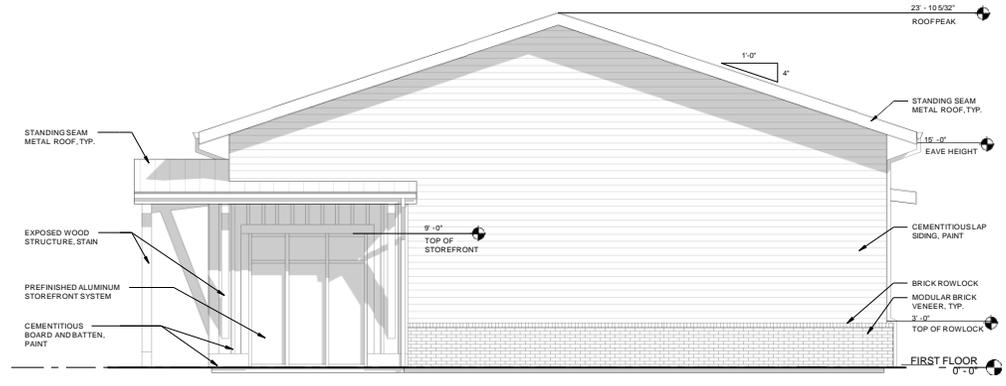
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D1
A207 EAST ELEVATION
SCALE: 1/4" = 1'-0"



A1
A207 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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09.23.2020

**MAYBANK MEDICAL
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TENANT BUILDING
MAYBANK
HIGHWAY
JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: MCC
CHECKED BY: CRZ
DATE: 09.23.2020
COAST PROJECT NO. 1822.00

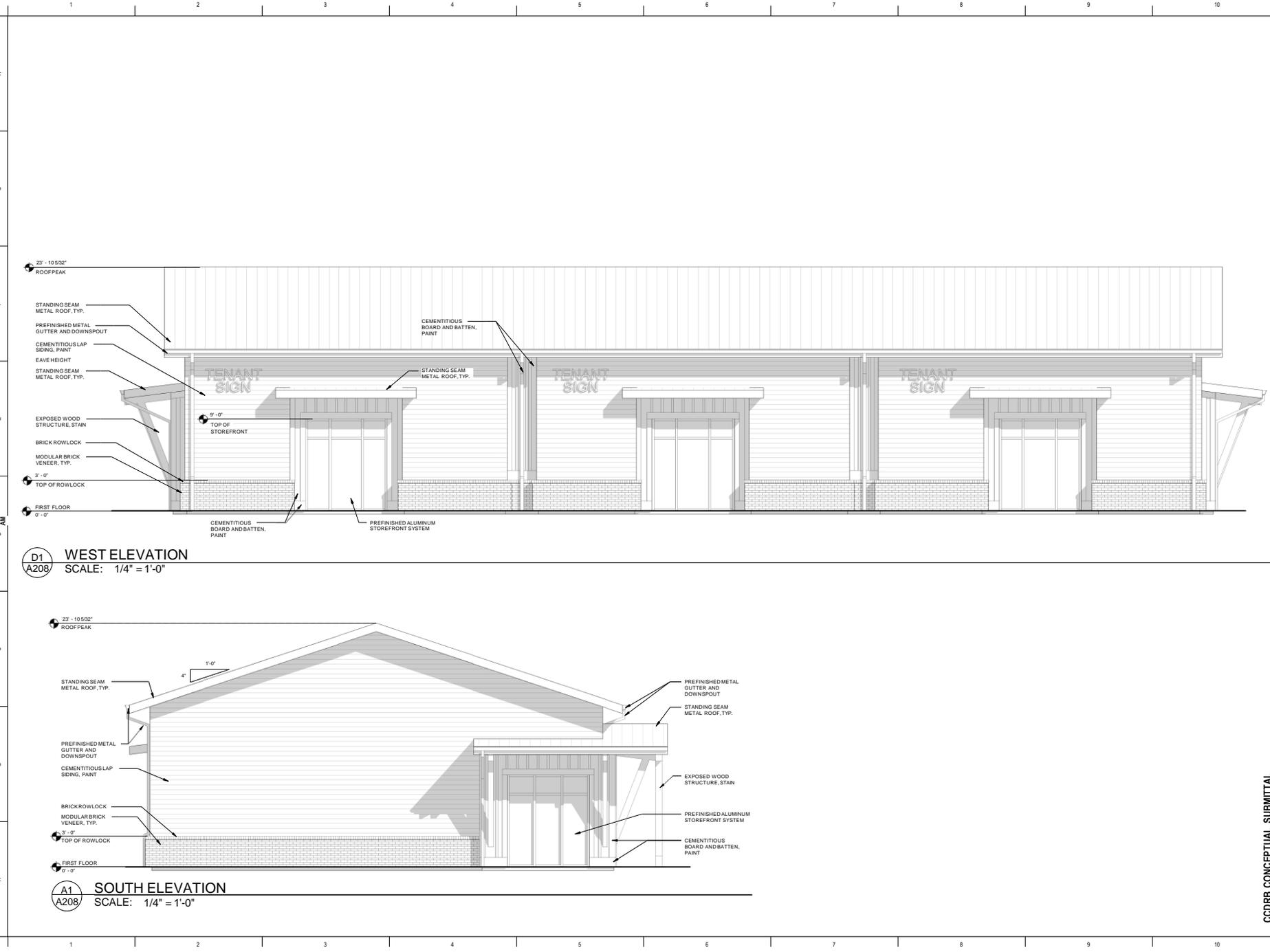
EXTERIOR
ELEVATION
S

A20

7

CDDB CONCEPTUAL SUBMITTAL
09.23.2020

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D1
A208 WEST ELEVATION
SCALE: 1/4" = 1'-0"

A1
A208 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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09.23.2020

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MAYBANK
HIGHWAY
JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

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DATE: 09.23.2020
COAST PROJECT NO. 1822.00

EXTERIOR
ELEVATION
S

A20

8

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09.23.2020

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VIEW OF TENANT BUILDING FROM PARKING LOT



VIEW OF TENANT BUILDING FROM WILDT'S BATTERY - PREVIOUS



VIEW OF TENANT BUILDING FROM PARKING LOT - PREVIOUS

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09.23.2020

**MAYBANK MEDICAL
OFFICES**
TENANT BUILDING
MAYBANK
HIGHWAY
JOHNS ISLAND, SOUTH CAROLINA

Revisions	
Rev. No.	Rev. Date

DRAWN BY: MCC
CHECKED BY: CRZ
DATE: 09.23.2020
COAST PROJECT NO.: 1822.00

PERSPECTIVE
SKETCHES

A20

9

CCDRB CONCEPTUAL SUBMITTAL
09.23.2020

Agenda Item #3

1800 PRODUCE LANE
TMS # 313-00-00-152

Request the conceptual approval for a new one story retail center.



LOCATOR MAP
NOT TO SCALE (LOCATION MAP PER GOOGLE MAPS)



PRODUCE LANE RETAIL SHELL BUILDING

1800 PRODUCE LANE
MAYBANK HIGHWAY, JOHNS ISLAND, SC
TMS# TO BE DETERMINED

CONCEPTUAL DRB SUBMITTAL OCTOBER 5, 2020

OWNER:

MR. GEORGE REAVIS
REAVIS-COMER DEVELOPMENT
221 HUGER ST.
CHARLESTON, SC 29403
843.345.0990

PROJECT TEAM:

ARCHITECTURE: (PRIMARY CONTACT)

LFK ARCHITECTS, LLC
802 COLEMAN BLVD
SUITE 100
MOUNT PLEASANT, SC 29464

LOSSE F. KNIGHT III, AIA
losse@lfkarchitect.com
843.330.8940

CIVIL:

HOYT+BERENYI
P.O. BOX 1470
LADSON, SC

KYLE TAYLOR
ktaylor@hoytberenyi.com
843.670.7001

PROJECT DATA:

PROJECT NAME: PRODUCE LANE RETAIL
ADDRESS: 1800 PRODUCE LANE
MAYBANK HIGHWAY, JOHNS ISLAND, SC
COUNTY: CHARLESTON
CITY: JOHNS ISLAND
TMS: # TO BE DETERMINED
SQUARE FOOTAGE: 8,840 SF

CONCEPTUAL TRC MEETING AUGUST.20.2020

GENERAL NOTES:

- DRAWINGS ARE NOT INTENDED TO BE SCALED.
- EXISTING CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- THE ARCHITECT IS TO BE NOTIFIED OF ANY VARIATIONS FROM THE DRAWING SPECIFICATIONS.
- ALL STRUCTURAL DRAWINGS AND SPECIFICATIONS INCLUDED IN THIS DRAWING SET ARE SPECIFIC TO THIS PARTICULAR SITE LOCATION/BUILDING ONLY AND ARE PROPERTY OF LFK ARCHITECTS, LLC. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS INFORMATION IS SUBJECT TO LEGAL PROSECUTION.

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PERSPECTIVE

DRAWING INDEX:

G001 COVER SHEET, INDEX, AND PROJECT NOTES

CIVIL

C1.0 CIVIL TITLE SHEET
C2.0 EXISTING CONDITIONS
C3.0 DEMO AND SWPPP
C4.0 SITE PLAN

LANDSCAPE

L-1.0 CONCEPTUAL LANDSCAPE PLAN

ARCHITECTURAL

A100 SITE AERIAL
EXISTING CONTEXT & STREETSCAPES
ADJACENT CONTEXT STREETSCAPES
3D MODEL BIRD'S EYE RENDERERS
A101 CONCEPTUAL FLOOR PLAN
A102 CONCEPTUAL ROOF PLAN
3D MODEL RENDERERS
A201 NORTH AND SOUTH ELEVATIONS
A202 EAST AND WEST ELEVATIONS



LFK ARCHITECTS, L.L.C.
802 COLEMAN BLVD SUITE 100
MOUNT PLEASANT, SC 29464
LOSSE F. KNIGHT III, AIA
ktaylor@lfkarchitect.com
phone: 843.330.8940

JOB NUMBER:
DRAWN BY:
CHECKED BY:

REVISION NOTES:

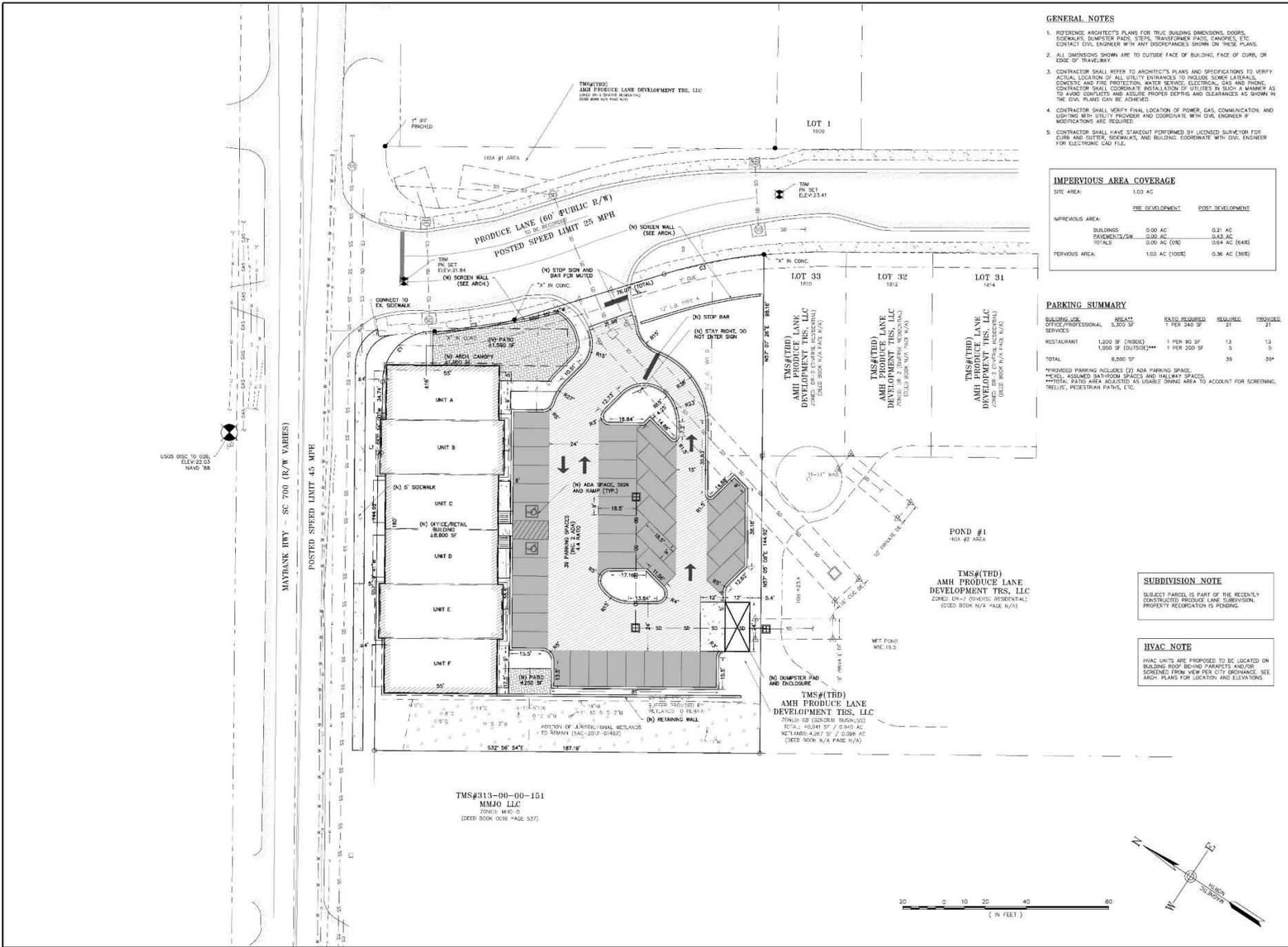
Produce Ln Retail
1800 Produce Ln
Maybank Hwy, Johns Island SC, 29455

COVER

SHEET NUMBER & TITLE

G001

CONCEPTUAL
DRB 10.05.2020

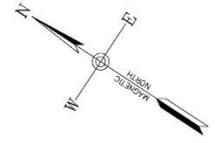


OWNER FOR:
John's Island Retail
Subdivision Plat Recording Pending
1800 Produce Lane
City of Charleston, SC

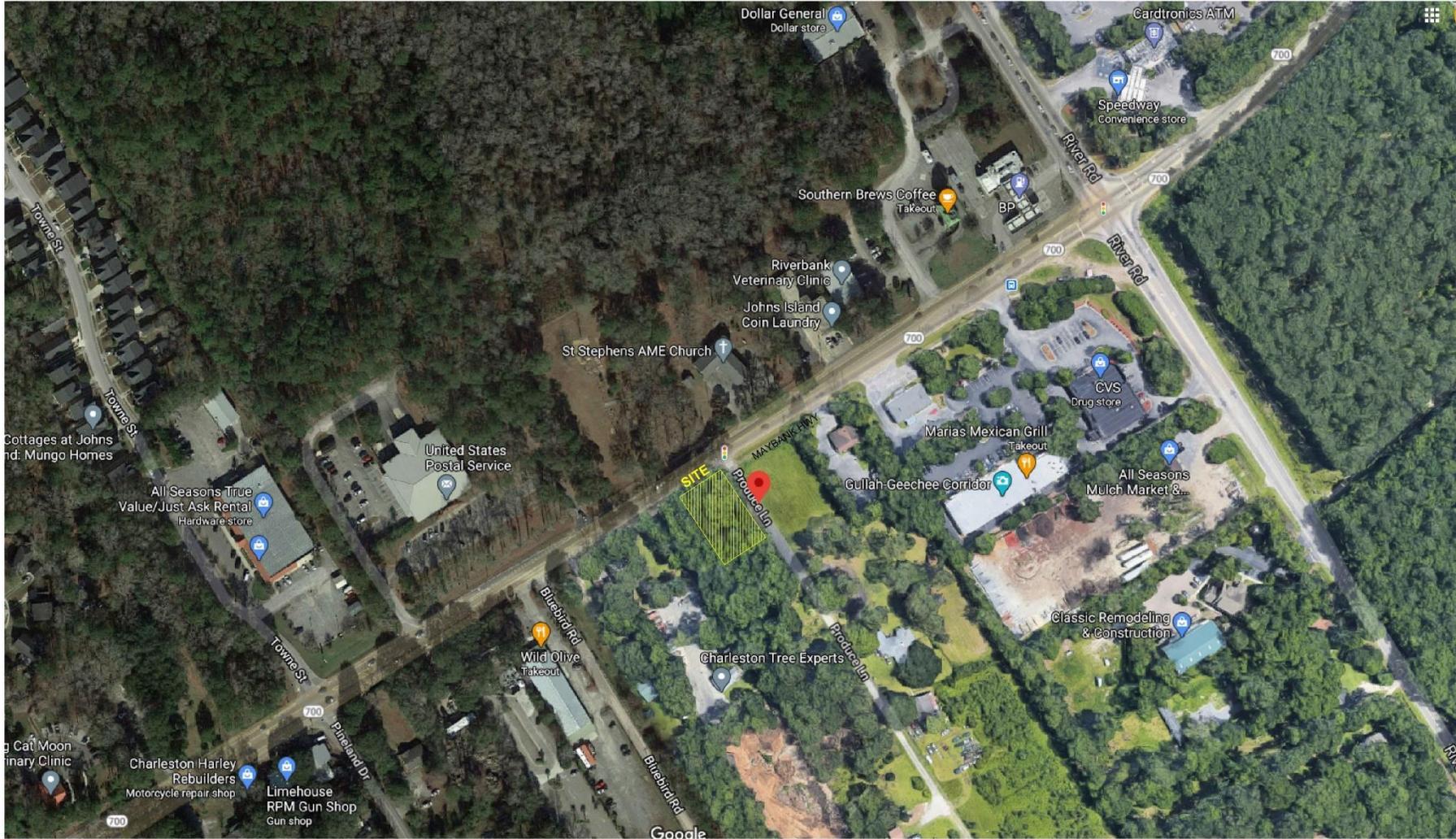
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1	ISSUED FOR PERMIT	11/22/20
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

DESIGNED BY: Kyle M. Hoyt, P.E.
 CHECKED BY: Kyle M. Hoyt, P.E.
 DATE: September 22, 2020
 PROJECT #: 20-036
 SCALE: 1" = 20'
 SHEET TITLE:
Site Plan

SHEET NUMBER:
C4.0



TMS#313-00-00-151
MMJO LLC
ZONE: M40-D
(DEED BOOK 0016 - PAGE 537)





SITE AERIAL ALONG MAYBANK HWY
 NOT TO SCALE



LEK ARCHITECTS

LEK ARCHITECTS, LLC
 8020 RIVERVIEW BLVD, SUITE 100
 JOHNS ISLAND, SC 29455
 PHONE: 843.330.5347

JOB NUMBER:	
DESIGN:	
CHECKED:	

REVISION NOTES:	

Produce Ln Retail
 1800 Produce Ln
 Maybank Hwy, Johns Island, SC, 29455
SITE AERIAL

SHEET NUMBER & TITLE
A100

Match Line



Left adjacent property



Produce Lane

Area of Work / Site

Site: 1800 Produce Lane. +/- 204'



Right adjacent property

Match Line

Existing Streetscape



Match Line



Match Line

37'4" AFS

28'6" AFS



Produce Ln

Proposed Streetscape

Site: 1800 Produce Lane. +/- 204'

Maybank Hwy (North)

Existing Context & Streetscapes





Across Maybank Hwy (right)



Across Maybank Hwy (directly)



Across Maybank Hwy (left - US Post Office)



John's Island Coin Laundry

Maybank Hwy (South)

Adjacent Context Streetscapes





Masonic Lodge



CVS



Southern Brews Coffee

Kangaroo Express

Maybank Hwy (North)

Adjacent Context Streetscapes





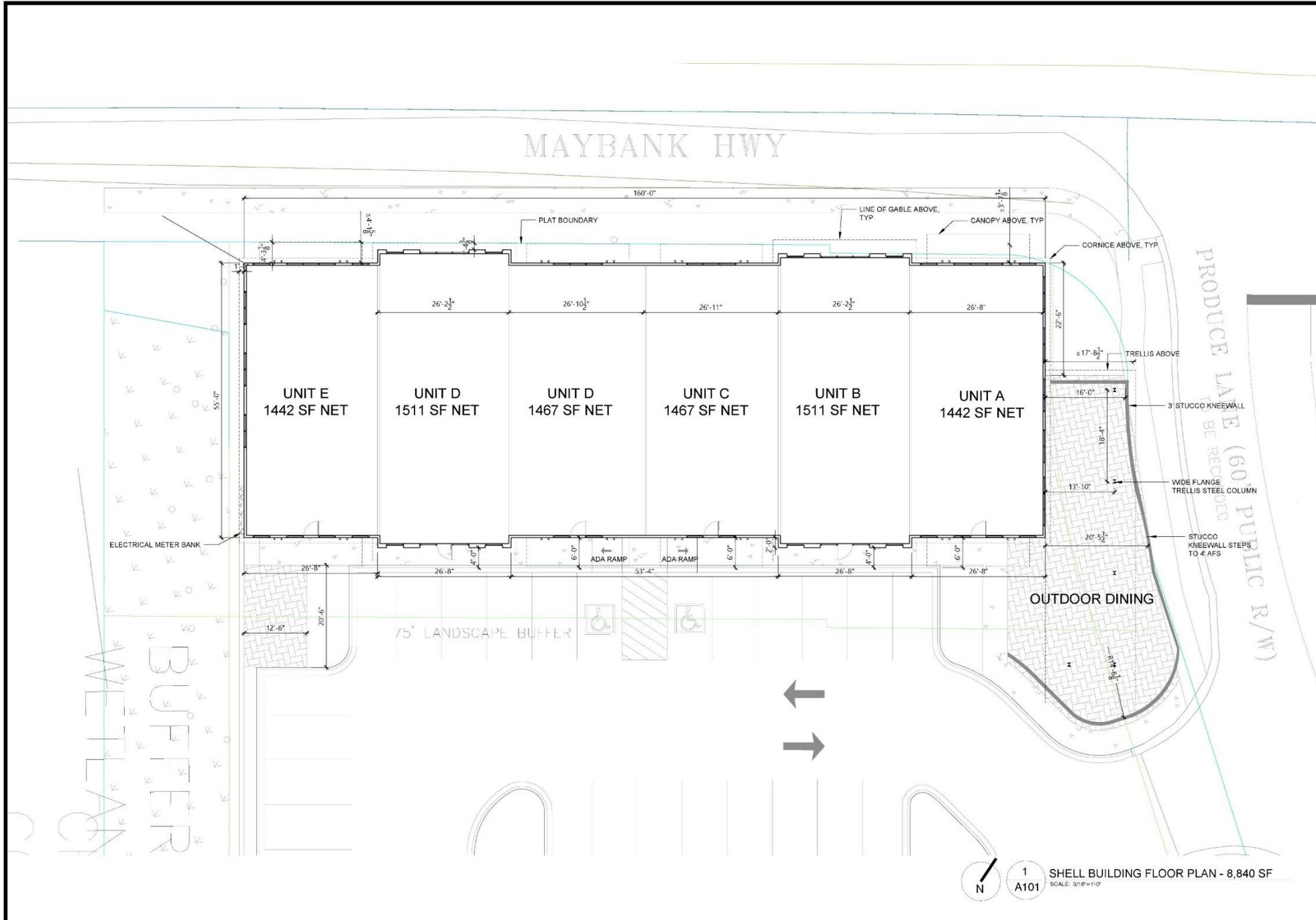
Bird's Eye View Southwest from Maybank





Bird's Eye View Northwest from Parking





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 Commercial + Family Style
 Residential Design
 www.lfkarch.com

LFK ARCHITECTS, LLC
 8000 BRUNNEN BLVD SUITE 100
 MOUNT PLEASANT, SC 29504
 LORIE F. RYAN, P.A. Lic.
 lryan@lfkarch.com
 phone: 853.330.8667

JOB NUMBER	
DRAWN	
CHECKED	

REVISION NOTES	

Produce Ln Retail
 1800 Produce Ln
 Maybank Hwy, Johns Island SC, 29455
CONCEPTUAL FLOOR PLAN

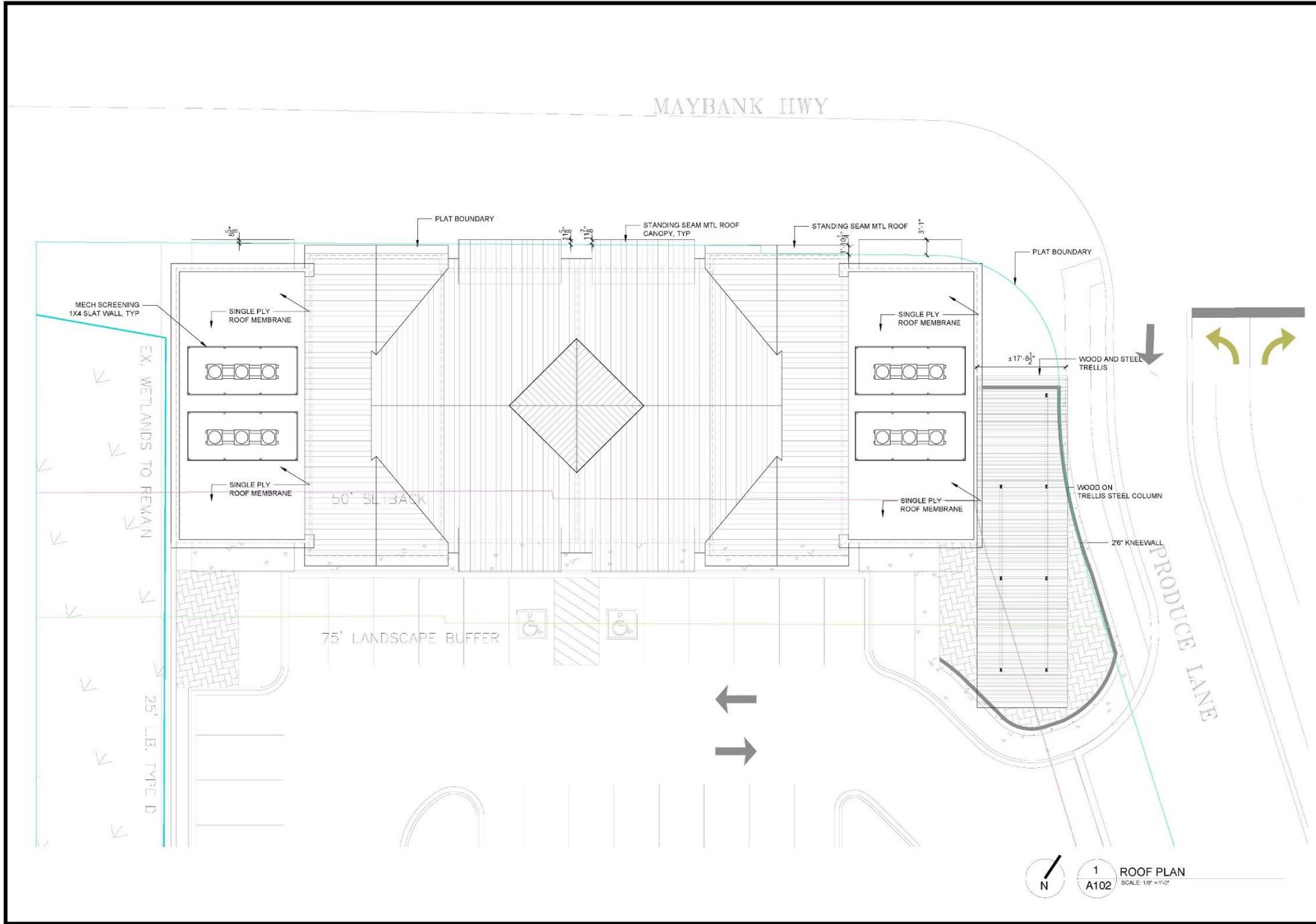
SHEET NUMBER & TITLE
A101

CONCEPTUAL
 DRB 10.05.2020

1
A101 SHELL BUILDING FLOOR PLAN - 8,840 SF
 SCALE: 3/16"=1'-0"

ORIGINAL LAYOUT SIZE: 24x36

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 JOSIE F. RENZI, P.A.
 jrenzi@lfkarchitect.com
 phone: 853.330.8667

JOB NUMBER	DATE	BY	CHECKED

REVISION NOTES

NO.	DESCRIPTION

Produce Ln Retail
 1800 Produce Ln
 Maybank Hwy, Johns Island SC, 29455
CONCEPTUAL ROOF PLAN

SHEET NUMBER & TITLE
A102

CONCEPTUAL
 DRB 10.05.2020

1
A102 ROOF PLAN
 SCALE: 1/8" = 1'-0"



View West from Maybank Hwy





View East from Maybank Hwy





Enlarged View from Maybank Hwy





View From Parking Lot Entrance





View North From Parking





Enlarged View 1



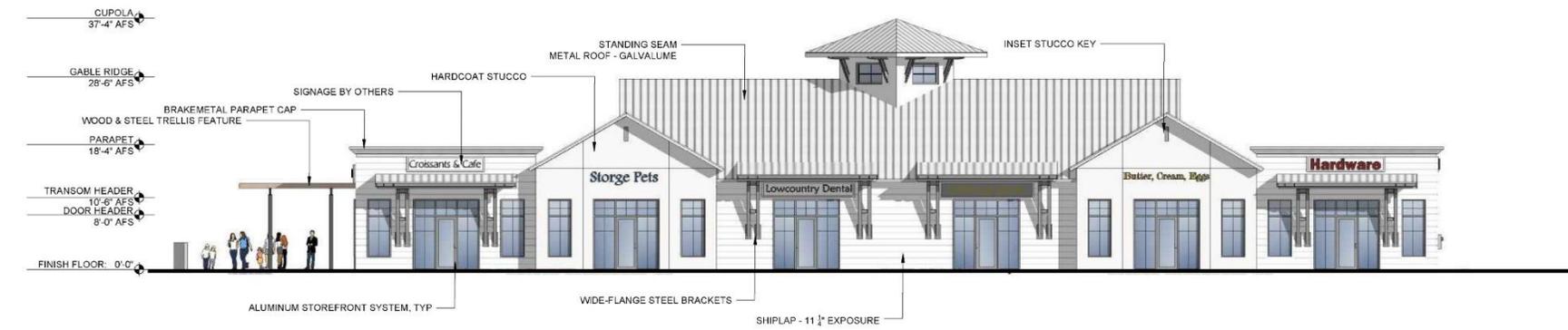


Enlarged View 2





1 SOUTH ELEVATION (PARKING)
SCALE: 1/8"=1'-0"



2 NORTH ELEVATION (MAYBANK HWY)
SCALE: 1/8"=1'-0"

NOTE: ALL SIGNAGE BY OTHERS



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DRAWN	
CHECKED	

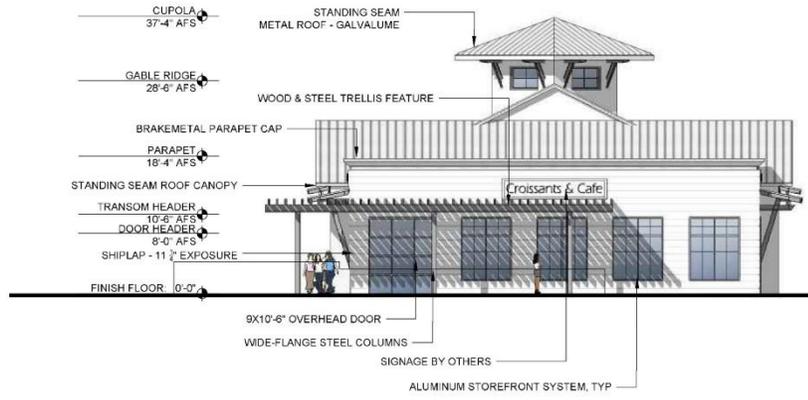
REVISION NOTES

Produce Ln Retail
1800 Produce Ln
Maybank Hwy, Johns Island SC, 29455
NORTH AND SOUTH ELEVATIONS

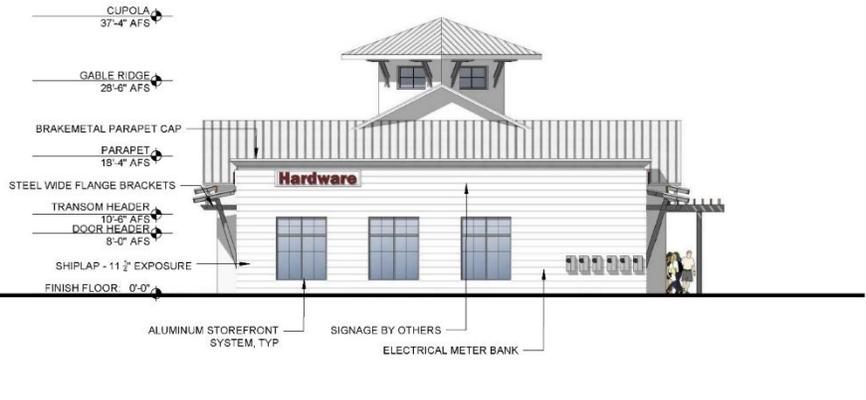
SHEET NUMBER & TITLE

A201

CONCEPTUAL
DRB 10.05.2020



1 EAST ELEVATION (PRODUCE LN)
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
(FACING WETLANDS BUFFER)
SCALE: 1/8"=1'-0"



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JOSSEF ARCHITECTS, LLC
1000 E. MARKET ST., SUITE 100
MOUNT PLEASANT, SC 29521
PHONE: 853.330.8647

JOB NUMBER	
DRAWN	
CHECKED	

REVISION NOTES

Produce Ln Retail
1800 Produce Ln
Maybank Hwy., Johns Island SC, 29455
EAST AND WEST ELEVATIONS

SHEET NUMBER & TITLE

A202

CONCEPTUAL
DRB 10.05.2020

Agenda Items #4 and #5

Approval of minutes from the 9.8.20 DRB meeting

Approval of minutes from the 9.21.20 DRB meeting