



City of Charleston

BOARD OF ARCHITECTURAL REVIEW - SMALL

January 23, 2020

4:30 PM

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

www.charleston-sc.gov/bar

Agenda Item #1

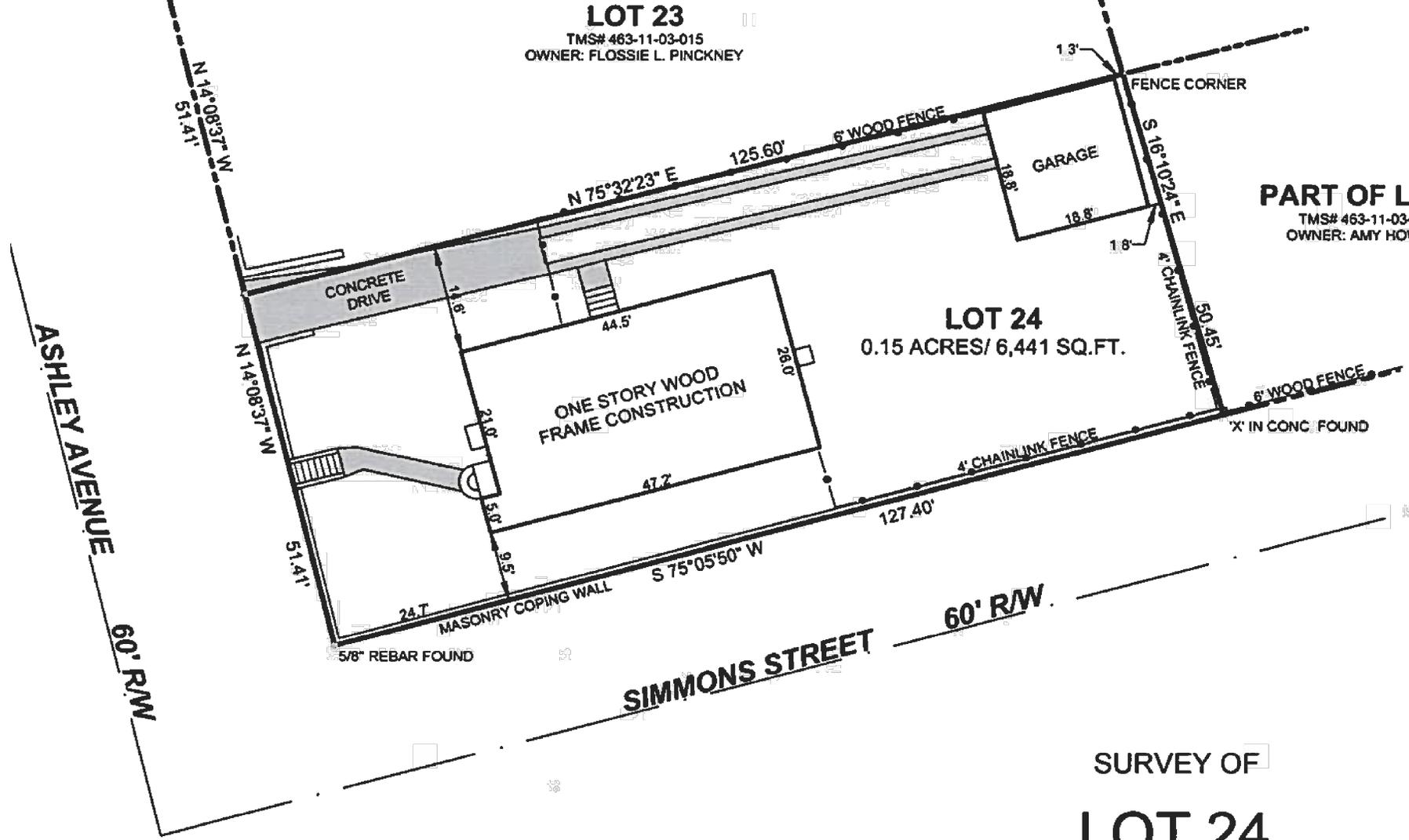
870 ASHLEY AVENUE
TMS # 463-11-03-014

Request final approval for the demolition of a 1-story, two car garage.

Not Surveyed (Wagener Terrace) c.1939-1944 Demo Purview

LOT 23
TMS# 463-11-03-015
OWNER: FLOSSIE L. PINCKNEY

PART OF LOT 9
TMS# 463-11-03-013
OWNER: AMY HOWELL



LOT 24
0.15 ACRES/ 6,441 SQ.FT.

ASHLEY AVENUE
60' R/W

SIMMONS STREET
60' R/W

SURVEY OF
LOT 24
870 ASHLEY AVENUE
LOCATED IN THE CITY OF CHARLESTON,
CHARLESTON COUNTY, SOUTH CAROLINA

DATE: 15 JUNE 2016





SOUTH ELEVATION - (SIMMONS STREET VIEW)



WEST ELEVATION - (ASHLEY AVENUE VIEW)



SOUTH ELEVATION - (SIMMONS STREET VIEW)



WEST ELEVATION - (ASHLEY AVENUE VIEW)

INTERIOR - SINGLE WYTHE TILE WALL



SOUTH ELEVATION - PAINTED TILE WALL



WEST ELEVATION - PAINTED GABLE SIDING & FLAT DOORS



NORTH ELEVATION - SINGLE WYTHE TILE WALL, UNPAINTED
LIMITED ACCESS, GARAGE WALL IS THE FENCE FOR NEIGHBOR





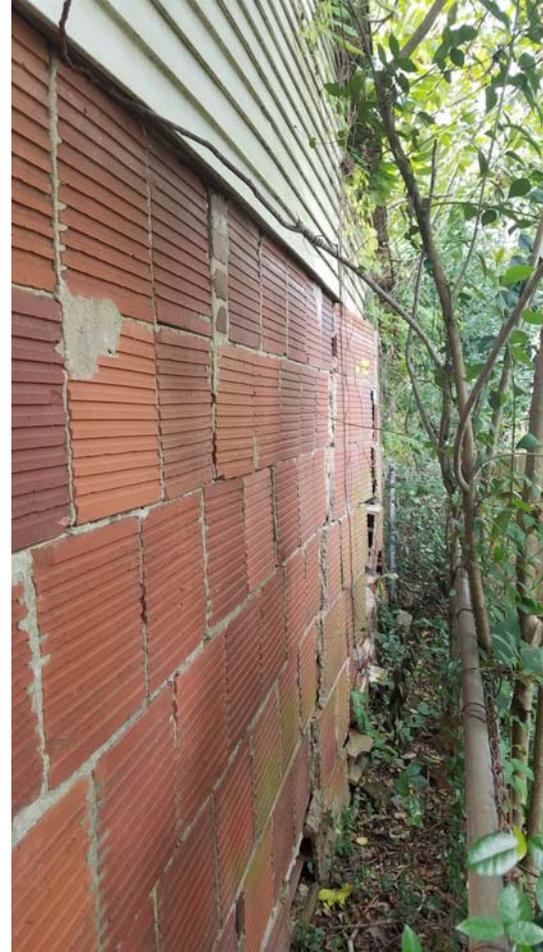
EAST ELEVATION - SINGLE WYTHE TILE WALL



WEST ELEVATION - WALL & EAVE DETAIL



EAST ELEVATION - TILE WALL



EAST ELEVATION - NEIGHBOR'S YARD VIEW

CLAY TILE REMNANT-MENTIONED IN HISTORIC DOCUMENTS



INTERIOR VIEW



CLAY TILE REMNANTS ARE OF MIXED SIZE AND PLACEMENT

CLAY TILE REMNANT



INTERIOR VIEW

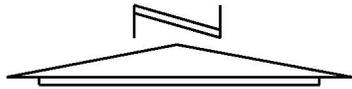


STRUCTURAL MATERIALS: MISSING, PATCHED, ROTTED, SUB-PAR DETAILS

Agenda Item #2

15 BEDON'S ALLEY
TMS # 458-09-03-087

Request conceptual approval for the new construction of a single-family dwelling.
New Construction (Charlestowne) Old and Historic District



GRID
N.A.D. 1983 (2011)
DISTANCES SHOWN ARE HORIZONTAL

T.M.S. 458-09-03-085
OWNER: HTA 39 BROAD
STREET LLC

2 STORY
MASONRY
RESIDENCE

T.M.S. 458-09-03-082
OWNER: NALLEY

T.M.S. 458-09-03-192
OWNER: DOUGHERTY

T.M.S. 458-09-03-245
OWNER: JOHNSON

T.M.S. 458-09-03-086
OWNER: PUCKHABER

T.M.S. 458-09-03-087
OWNER: SANDA

2 STORY WOOD FRAME
RESIDENCE

SITE PLAN

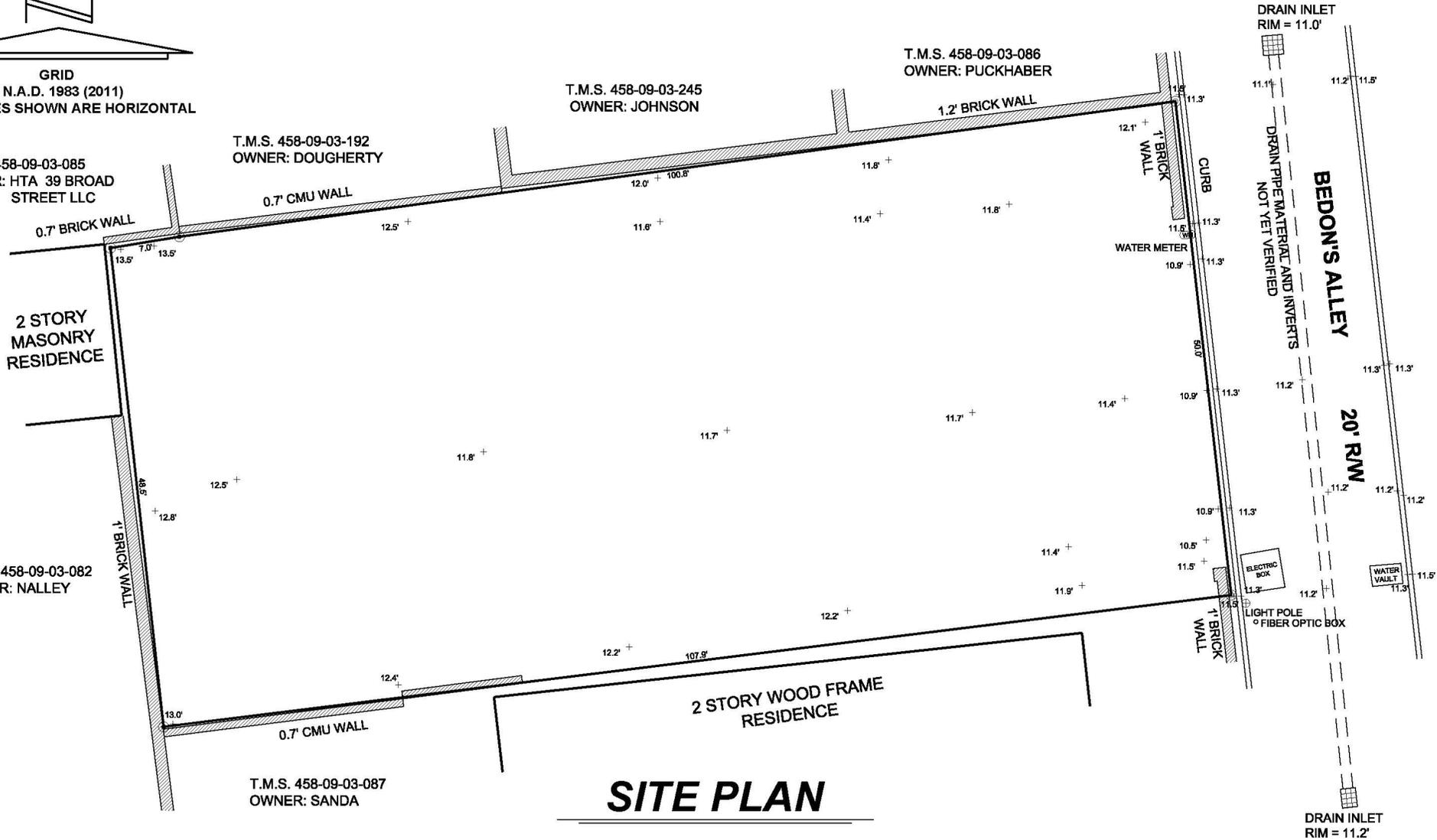
#15 BEDON'S ALLEY

CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA

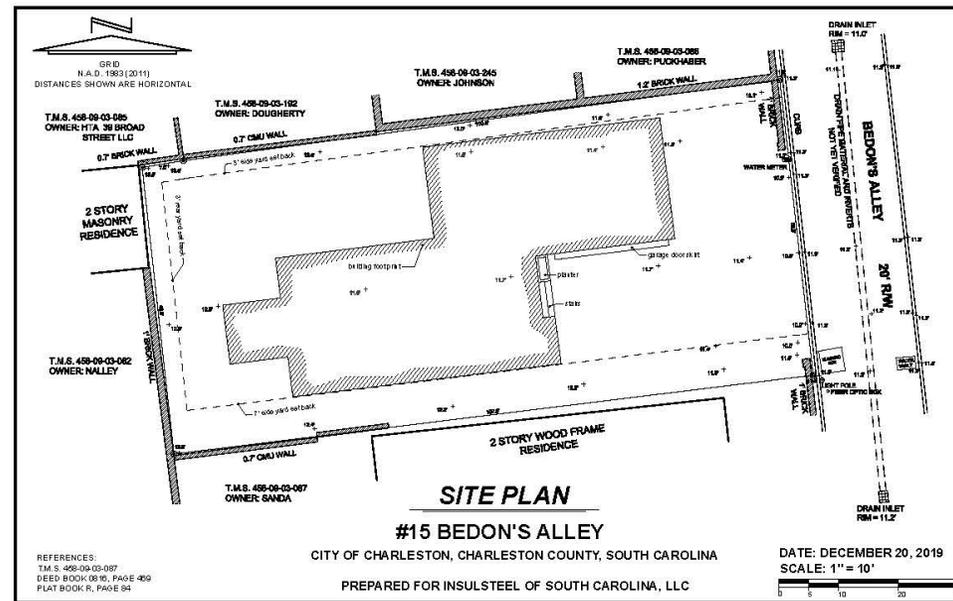
PREPARED FOR INSULSTEEL OF SOUTH CAROLINA, LLC

REFERENCES:
T.M.S. 458-09-03-087
DEED BOOK 0816, PAGE 469
PLAT BOOK R, PAGE 84

DATE: DECEMBER 20, 2019
SCALE: 1" = 10'



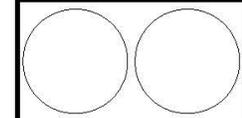
THESE DRAWINGS ARE THE PROPERTY OF INSULSTEEL OF SOUTH CAROLINA AND ARE NOT TO BE USED FOR ANY REPRODUCTION THEREOF OR FOR CONSTRUCTING ANY BUILDINGS WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM COPYRIGHT OWNER INSULSTEEL.



LOT COVERAGE:

LOT SIZE 5,318 sq ft

1860 sq ft = 35%



KESSLER RESIDENCE
 NEW HOME

15 BEDONS
 ALLEY CHARLESTON
 SC, 29401

MARK	DESCRIPTION

PROJECT NO:
 MODEL FILE:
 DRAWN BY:
 CHKD BY:
 COPYRIGHT

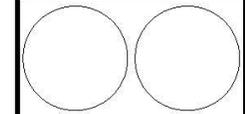
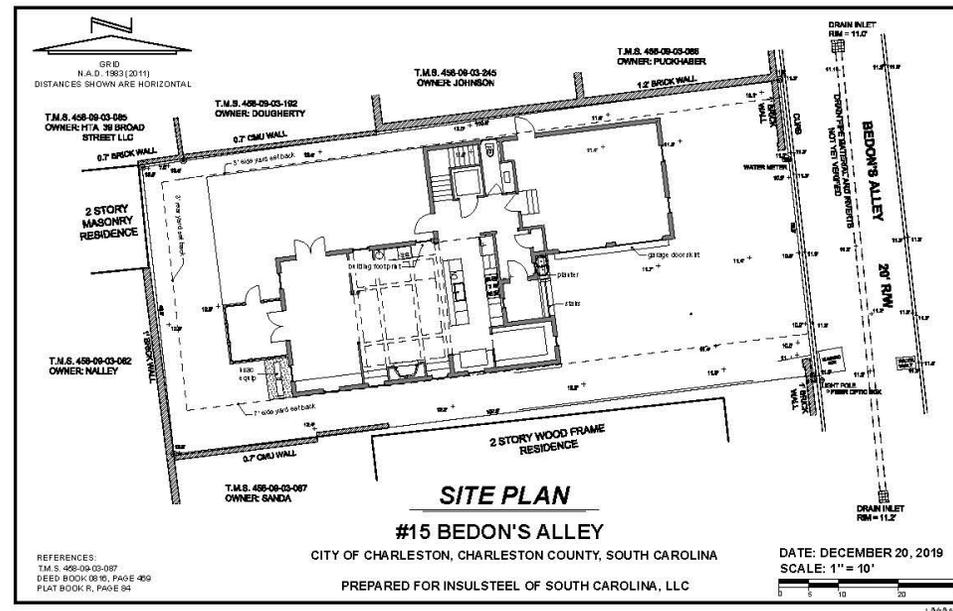
SHEET TITLE
 SITE PLAN

WITH LOT COVERAGE

Tuesday, December 24, 2019

L-1.1

THESE DRAWINGS ARE THE PROPERTY OF INSULSTEEL OF SOUTH CAROLINA AND ARE NOT TO BE USED FOR ANY REPRODUCTION THEREOF OR FOR CONSTRUCTING ANY BUILDINGS WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM COPYRIGHT OWNER INSULSTEEL.



KESSLER RESIDENCE
NEW HOME

15 BEDONS
ALLEY CHARLESTON
SC, 29401

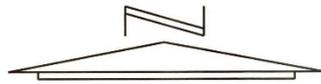
MARK	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHKD BY:
COPYRIGHT

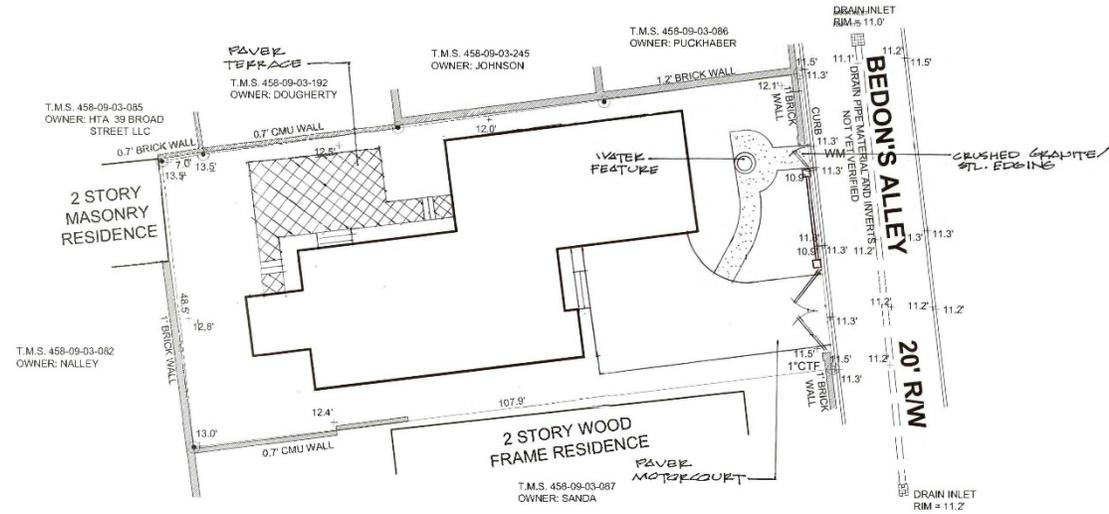
SHEET TITLE
SITE PLAN
WITH GROUND FLOOR LAYOUT

Friday, December 27, 2019

L-1.2



GRID
 N.A.D. 1983 (2011)
 DISTANCES SHOWN ARE HORIZONTAL



SITE PLAN WITH PROPOSED HARDSCAPES

#15 BEDON'S ALLEY

CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA

PREPARED FOR INSULSTEEL OF SOUTH CAROLINA, LLC

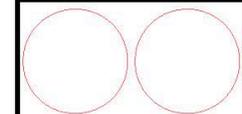
REFERENCES:
 T.M.S. 458-09-03-087
 DEED BOOK 0816, PAGE 469
 PLAT BOOK R, PAGE 84

DATE: DECEMBER 20, 2019

SCALE: 1" = 10'



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KESSLER RESIDENCE
NEW HOME

15 BEDONS
ALLEY CHARLESTON
SC, 29401

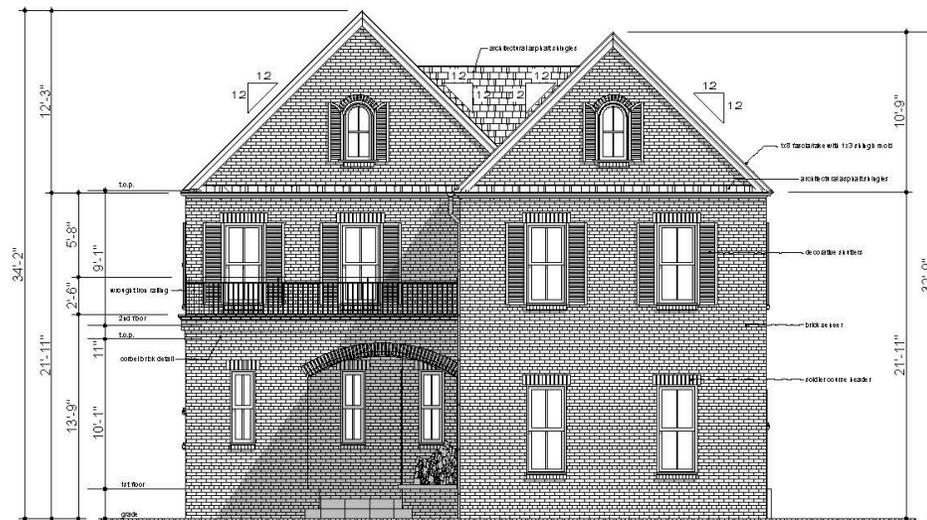
MARK	DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHKD BY:
COPYRIGHT

SHEET TITLE
EAST ELEVATIONS

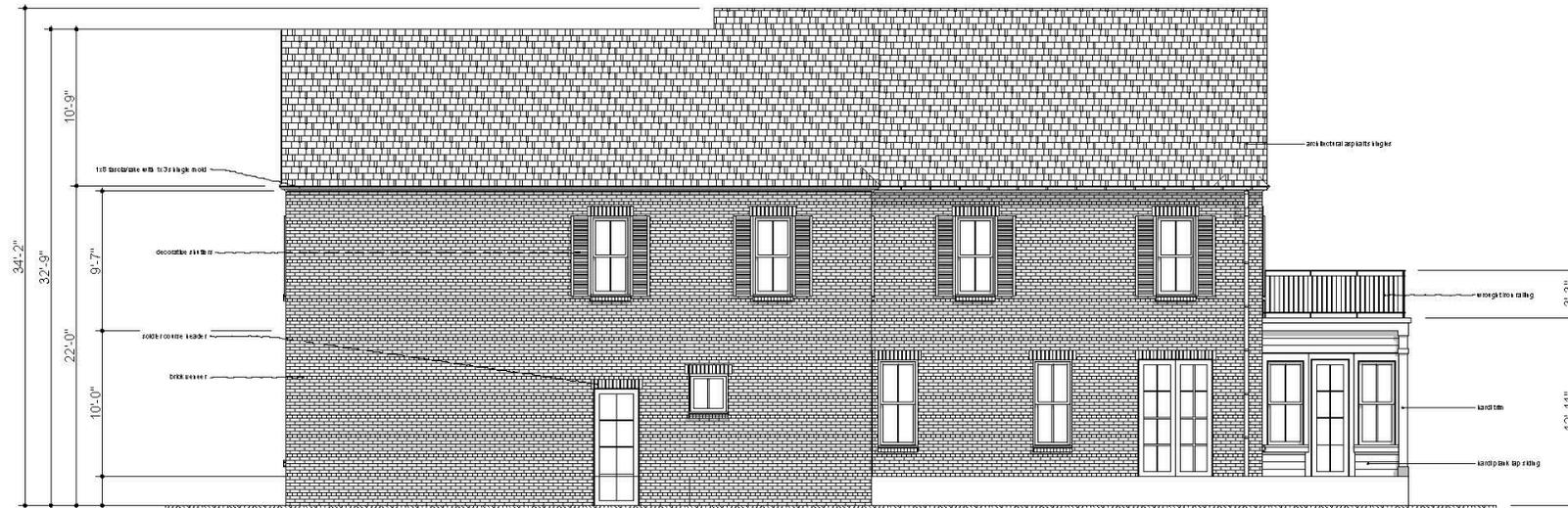
Sunday, December 29, 2019

A-2.1

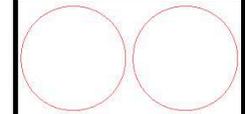


1 east/front elevation 1/4" = 1'-0"

THESE DRAWINGS ARE THE PROPERTY OF INSULSTEEL OF SOUTH CAROLINA AND ARE NOT TO BE USED FOR ANY REPRODUCTION THEREOF OR FOR CONSTRUCTING ANY BUILDINGS WITHOUT FIRST OBTAINING WRITTEN AUTHORIZATION FROM COPYRIGHT OWNER INSULSTEEL.



1 north/right elevation 1/4" = 1'-0"



KESSLER RESIDENCE
NEW HOME

15 BEDONS
ALLEY CHARLESTON
SC, 29401

MARK	DATE	DESCRIPTION

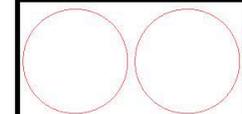
PROJECT NO:
MODEL FILE:
DRAWN BY:
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SHEET TITLE
NORTH ELEVATIONS

Sunday, December 29, 2019

A-2.2

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KESSLER RESIDENCE
NEW HOME

15 BEDONS
ALLEY CHARLESTON
SC, 29401

MARK	DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHKD BY:
COPYRIGHT

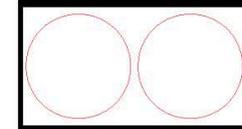
SHEET TITLE
WEST ELEVATION

Sunday, December 29, 2019

A-2.3



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KESSLER RESIDENCE
NEW HOME

15 BEDONS
ALLEY CHARLESTON
SC, 29401

MARK	DATE	DESCRIPTION

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHKD BY:
COPYRIGHT

SHEET TITLE
SOUTH ELEVATION

Sunday, December 29, 2019

A-2.4



1 south/left elevation 1/8" = 1'-0"



9 Bedon's Alley

11 Bedon's Alley

15 Bedon's Alley

19 Bedon's Alley



16 Bedon's Alley

14 Bedon's Alley

12 Bedon's Alley

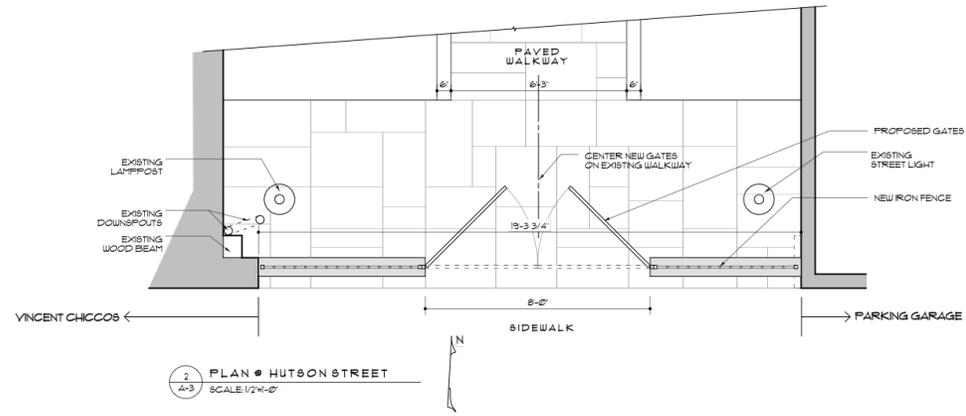
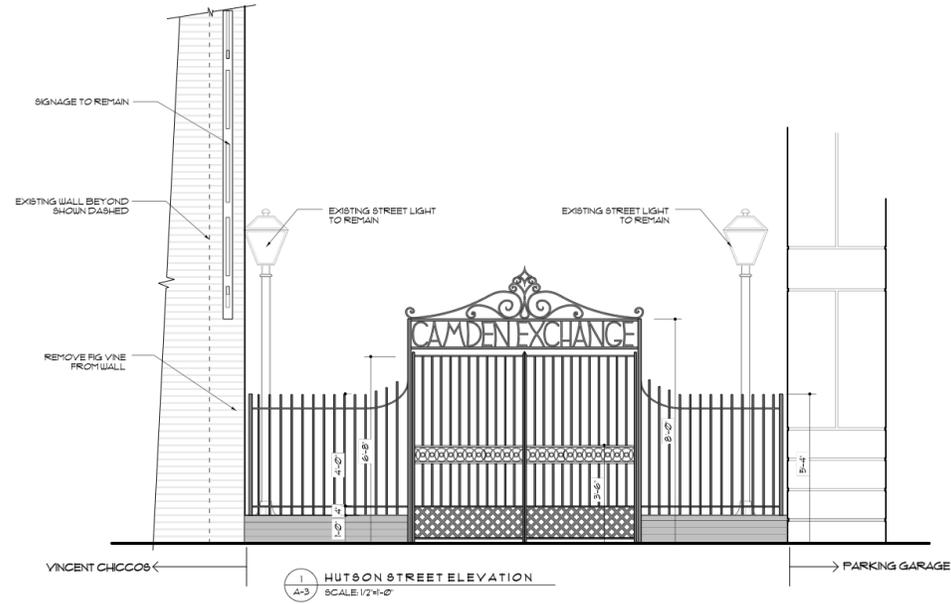
10 Bedon's Alley

Agenda Item #3

39 JOHN / 26 HUTSON STREET
TMS # 460-16-02-014

Request conceptual approval for the installation of iron fencing and gates across the pedestrian alley adjoining John and Hutson Streets.

Category 3/4 (Mazyck-Wraggborough) Old and Historic District



Glenn Keyes
Architects

12 Vandenberg Street
Charleston, SC
(843) 722-4100
www.glennkeyesarchitects.com

Proposed gates for
Hutson Alley
Charleston, South Carolina

RUE DE JEAN
EAST ELEVATION

REV.	DATE

PROJECT NUMBER 1306

DRAWING DATE 12/24/19

SHEET NUMBER

A-3

Agenda Item #4

23 LEGARE STREET
TMS # 457-11-04-107

Request conceptual approval for new construction of pool house and garage.

Category 2 (Charlestowne) c.1838 Old and Historic District



1 EXISTING POOL & ADDITION
P-1
NO SCALE



2 VIEW DOWN DRIVEWAY
P-1
NO SCALE

Glenn Keyes Architects
 12 Vandenberg Street
 Charleston, SC 29401
 (843) 752-4100
 www.glennkeyesarchitects.com

A REHABILITATION FOR
23 Legare Street
Robert Trail Chisolm House
 CHARLESTON, SC
 29401

EXISTING
 CONDITIONS
 PHOTOS

REV	DATE

PROJECT NUMBER
1907

DRAWING DATE
1/2/20

SHEET NUMBER
P-1

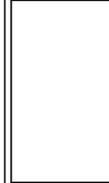


1 PROPOSED POOL HOUSE & GARAGE
P-2 NO SCALE



2 EXISTING POOL, DRIVEWAY & HOUSE
P-2 NO SCALE

Glenn Keyes
Architects
12 Vandenberg Street
Charleston, SC 29403
(843) 752-4100
www.glennkeyesarchitects.com



A REHABILITATION FOR
23 Legare Street
Robert Trail Chisolm House
CHARLESTON, SC
29401

PHOTO &
RENDERING

REV	DATE

PROJECT NUMBER
1907

DRAWING DATE
1/2/20

SHEET NUMBER
P-2



1 PROPOSED POOL HOUSE & GARAGE
P-3 NO SCALE



2 EXISTING POOL & KITCHEN HOUSE
P-3 NO SCALE

Glenn Keyes
Architects
12 Vandenberg Street
Charleston, SC 29405
(843) 752-4100
www.glennkeyesarchitects.com

A REHABILITATION FOR
23 Legare Street
Robert Trail Chisolm House
CHARLESTON, SC
29401

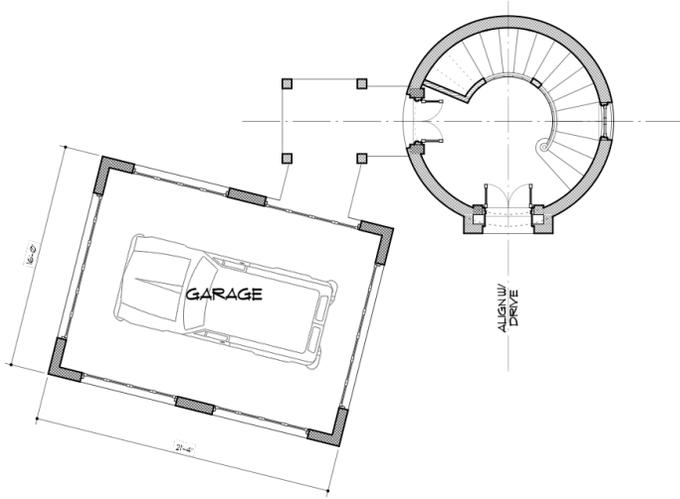
PHOTO &
RENDERING

REV	DATE

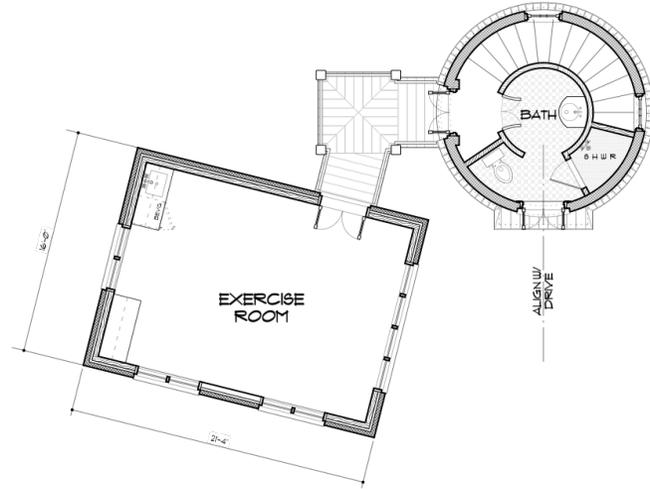
PROJECT NUMBER 1907

DRAWING DATE 1/2/20

SHEET NUMBER P-3



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



Glenn Keyes Architects
12 Vandenberg Street
Charleston, SC 29401
(843) 752-4100
www.gkaarchitects.com



A REHABILITATION FOR
23 Legare Street
Robert Trail Chisolm House
CHARLESTON, SC
29401

POOL HOUSE

REV	DATE

PROJECT NUMBER 1301

DRAWING DATE 1/2/20

SHEET NUMBER A101



1 EAST ELEVATION
SCALE 1/4" = 1'-0"

EXISTING HOUSE
SHOWN DASHED



2 NORTH ELEVATION
SCALE 1/4" = 1'-0"

Glenn Keyes Architects
12 Vandenberg Street
Charleston, SC 29401
www.gkaarchitects.com



A REHABILITATION FOR
23 Legare Street
Robert Trail Chisolm House
CHARLESTON, SC 29401

ELEVATIONS

REV	DATE

PROJECT NUMBER 1307

DRAWING DATE 1/2/20

SHEET NUMBER A201



1 SOUTH ELEVATION
 1/2020 SCALE 1/4" = 1'-0"



3 WEST ELEVATION
 1/2020 SCALE 1/4" = 1'-0"

Glenn Keyes
 Architects
 12 Vandenberg Street
 Charleston, SC 29401
 www.gkaarchitects.com



A REHABILITATION FOR
 23 Legare Street
 Robert Trail Chisolm House
 CHARLESTON, SC
 29401

ELEVATIONS

REV.	DATE

PROJECT NUMBER 1907

DRAWING DATE 1/2/20

SHEET NUMBER
A202



1 NORTH ELEVATION
SCALE 1/4" = 1'-0"



2 EAST ELEVATION
SCALE 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



4 WEST ELEVATION
SCALE 1/4" = 1'-0"

Glenn Keyes
Architects
12 Vandenberg Street
Charleston, SC 29403
www.gkeyes.com



A REHABILITATION FOR
23 Legare Street
Robert Trail Chisolm House
CHARLESTON, SC
29401

ELEVATIONS

REV.	DATE

PROJECT NUMBER 1907

DRAWING DATE 1/2/20

SHEET NUMBER **A203**

Agenda Item #5

13 JOHN STREET / 342 MEETING STREET
TMS # 459-13-01-001

Request after-the-fact approval to install wood privacy fence for school on John Street.

Category 1 (Mazyck-Wraggborough) c.1811 Old and Historic District



BOARD OF ARCHITECTURAL REVIEW

APPLICATION / CERTIFICATE OF APPROPRIATENESS

CITY OF CHARLESTON DEPARTMENT OF PLANNING, PRESERVATION AND SUSTAINABILITY
 2 George Street Charleston, South Carolina 29401 843-724-3781 Fax: 843-724-3772 www.charleston-sc.gov/BAR

Property Address: 13 John St. (Second Pres. Kindergarten)		TMS No.:
Review request:	For:	Meeting date requested:
<input type="checkbox"/> Conceptual	<input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations / Additions	<input type="checkbox"/> Appeal Decision of Urban Design Staff
<input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final	<input type="checkbox"/> Repairs or repaint with no changes	<input type="checkbox"/> Color Change <input type="checkbox"/> Demolition

Property Owner: Second Presbyterian Church	Daytime phone: (843) 577-5734
Applicant: Sue Henderson	Daytime phone: (843) 860-6568
Applicant's mailing address: 342 Meeting Street	
City: Charleston	State: SC Zip: 29403
Applicant's e-mail address: sueatsecond@gmail.com	
Applicant's relationship: <input type="checkbox"/> Owner <input type="checkbox"/> Design Professional <input type="checkbox"/> Contractor <input type="checkbox"/> Real Estate Agent/Broker <input checked="" type="checkbox"/> Other	

In your own words describe what you are requesting: To install wooden security fence for school playground

Submittal Requirements: See BAR Submittal Requirements supplement for complete information. Zoning / Courtesy TRC approval required prior to making application for review. INCOMPLETE APPLICATIONS WILL NOT BE INCLUDED ON A BOARD AGENDA.

I hereby acknowledge by my signature below that the foregoing application is complete and accurate and that I am the owner of the subject property or an authorized representative. I authorize the subject property to be posted and inspected, and the application to be heard by the Board of Architectural Review of the City of Charleston on the date specified.

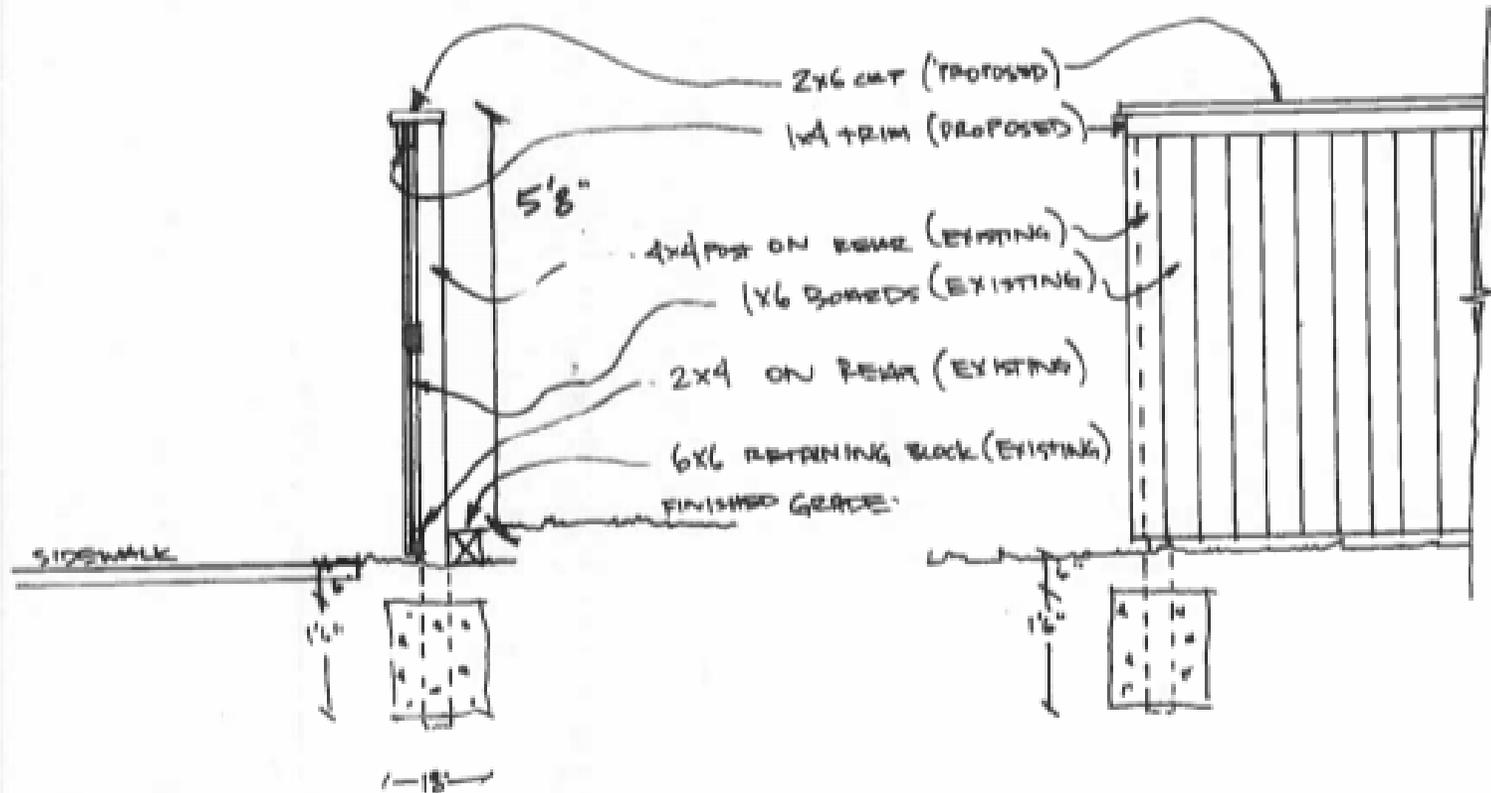
Applicant's signature: Sue A. Henderson Date: 12-19-19

Print name legibly: SUE A. HENDERSON

For Office Use Only Below this Point

<input type="checkbox"/> The Board of Architectural Review has reviewed this request. Its findings are as follows:	
<input type="checkbox"/> The Urban Design and Preservation Staff has reviewed this request. Its findings are as follows:	
<input type="checkbox"/> Approval <input type="checkbox"/> Denial <input type="checkbox"/> Deferral <input type="checkbox"/> Approval with the following conditions:	
<input type="checkbox"/> Final Approval is granted upon fulfillment of the above-specified conditions and is referred to the Preservation Staff for further action.	
<input type="checkbox"/> Further Action/Final Approval Requires Board Hearing(s)	App. No.: - -
<input type="checkbox"/> Chairman's or <input type="checkbox"/> Staff's Signature:	Date:
Arch. Rating:	Const. Date: <input type="checkbox"/> Old and Historic Dist. <input type="checkbox"/> Old City Dist. <input type="checkbox"/> Landmark Dist. <input type="checkbox"/> North of Line St.
Date received:	Fee amount: Receipt no.: Staff person:

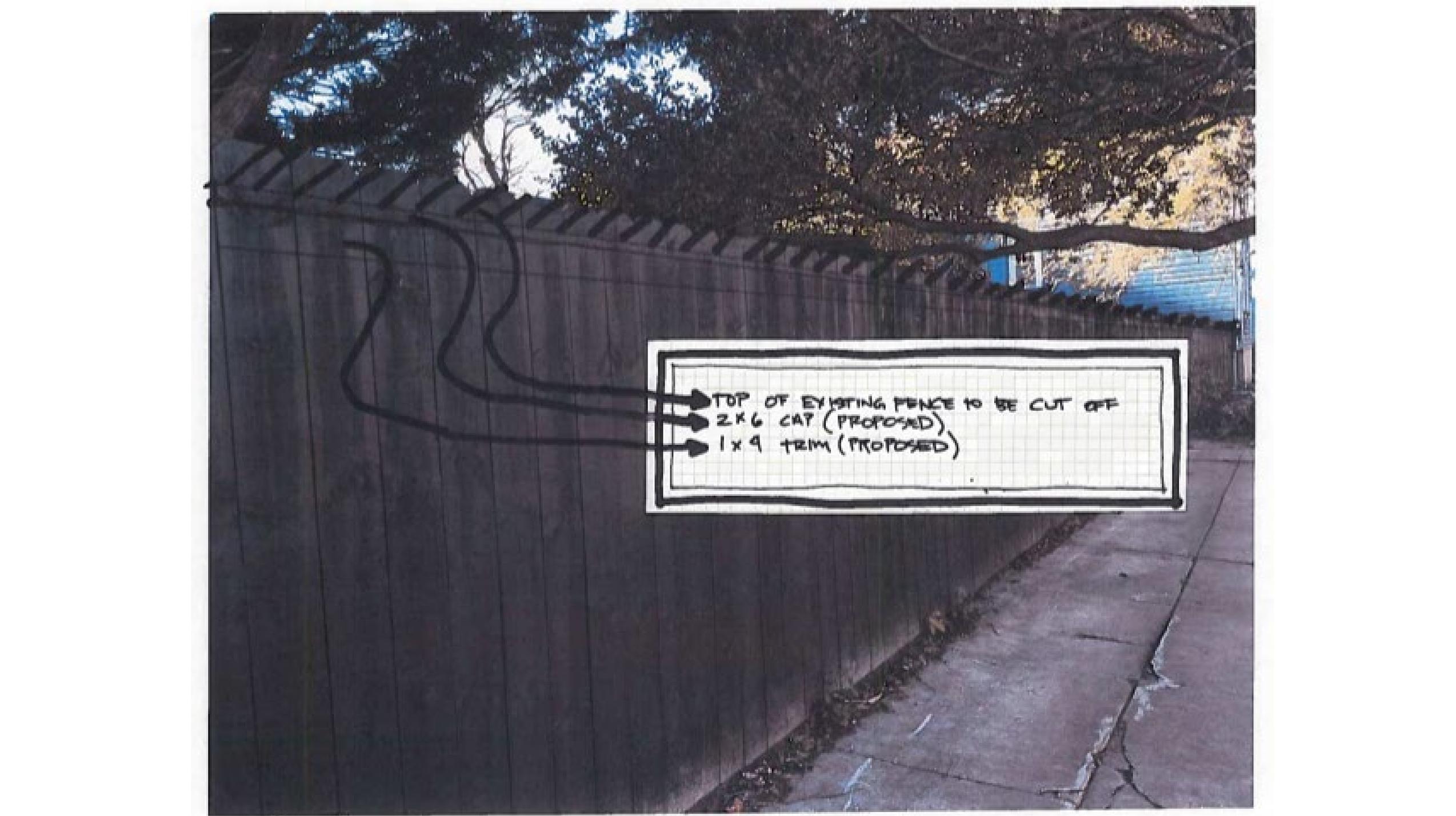
1. An appeal of a Board decision stays all further action on applications.
 2. This approval does not constitute approval by other City boards or departments. Prior to construction, all plans and specifications must be reviewed and approved by the Building Inspections Division and a building permit must be obtained and posted on the property.
 3. This approval expires 2 years from approval date.



WOOD FENCE

1/2" = 1'

13 JOHN ST



TOP OF EXISTING FENCE TO BE CUT OFF
2x6 CAP (PROPOSED)
1x9 TRIM (PROPOSED)

Agenda Item #6

2 JUDITH STREET
TMS # 459-09-03-132

Request conceptual approval for new construction of a rear dependency.

Category 4 (Mazyck-Wraggborough) c.1905 Old City District



CURRENT JUDITH STREET VIEW



CURRENT AMERICA STREET VIEW



ZONING MAP EXCERPT

RENOVATION OF A DUPLEX + NEW ADDITION AT
2 JUDITH STREET
 CHARLESTON, SOUTH CAROLINA

TMS #: 459-09-03-132
 ZONING DISTRICT: DR-2F
 GOVERNING CODE: IRC 2015
 FLOOD ZONE: 'AE(13)', FFE @ 11.3' AMSL

DRAWING SCHEDULE:

- A-001 TITLE + DRAWING SCHEDULE
- A-002 CONTEXT PHOTOS
- A-003 EXISTING CONDITIONS PHOTOS
- A-004 EXISTING CONDITIONS PHOTOS
- A-005 HISTORIC IMAGES + SANBORN MAPS
- A-006 EXISTING SITE PLAN
- A-007 SITE PLANS (PREVIOUS + PROPOSED)
- A-101 FIRST FLOOR PLANS (PREVIOUS + PROPOSED)
- A-102 SECOND FLOOR PLANS (PREVIOUS + PROPOSED)
- A-103 ROOF PLANS (EXISTING)
- A-104 ROOF PLANS (PREVIOUS + CURRENT)
- A-200a EXTERIOR ELEVATIONS (EXISTING)
- A-200b EXTERIOR ELEVATIONS (EXISTING)
- A-201 EAST ELEVATIONS (PREVIOUS + PROPOSED)
- A-202 NORTH & SOUTH ELEVATIONS (PREVIOUS + PROPOSED)
- A-203 WEST ELEVATIONS (PREVIOUS + PROPOSED)
- A-301 3D STUDIES
- A-302 ILLUSTRATION OF SUBORDINATE SCALE



AERIAL VIEW



HOUSING DESIGN MATTERS
 11512 LAKE MEAD AVENUE
 SUITE 102
 JACKSONVILLE, FL 32256
 TELEPHONE 904-572-1909

DERYL L. PATTERSON

SG LIC. No. 5985



2 JUDITH STREET
 MODIFICATIONS TO DUPLEX RESIDENCE
 AND NEW ADDITION

01.09.2020 SUBMITAL
 NOT VALID UNLESS WET
 SIGNATURE AND RAISED SEAL

TITLE +
 DRAWING
 SCHEDULE

A-001



PROPERTY ADJACENT TO 2 JUDITH ON JUDITH STREET



PROPERTIES ON OPPOSITE SIDE OF JUDITH STREET



PROPERTIES ON OPPOSITE SIDE OF AMERICA STREET



PROPERTIES ADJACENT TO 2 JUDITH ON AMERICA STREET



HOUSING
DESIGN
MATTERS

HOUSING DESIGN MATTERS
11512 LAKE MEAD AVENUE
SUITE 102
JACKSONVILLE, FL 32256
TELEPHONE 904-372-1909

DERYL L. PATTERSON

SG LIC. No. 5985



2 JUDITH STREET
MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

01.09.2020 SUBMITAL
NOT VALID UNLESS WET
SIGNATURE AND RAISED SEAL

CONTEXT
PHOTOS

A-002



VIEW OF SOUTH + EAST ELEVATIONS FROM CORNER OF JUDITH AND AMERICA



VIEW OF EAST + NORTH ELEVATIONS FROM AMERICA



VIEW OF NORTH ELEVATION FROM REAR YARD



VIEW OF WEST ELEVATION FROM JUDITH



HOUSING
DESIGN
MATTERS

HOUSING DESIGN MATTERS
11512 LAKE MEAD AVENUE
SUITE 102
JACKSONVILLE, FL 32256
TELEPHONE 904-572-1909

DERYL L. PATTERSON

SG LIC. No. 5985



2 JUDITH STREET
MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

01.09.2020 SUBMITAL
NOT VALID UNLESS WET
SIGNATURE AND RAISED SEAL

PHOTOS
(EXISTING
CONDITIONS)

A-003



VIEW OF REAR LOT FROM AMERICA



VIEW OF REAR LOT FROM HOUSE



VIEW OF NORTH WEST CORNER ELEVATION



VIEW OF WEST SIDE ELEVATION FROM JUDITH STREET



VIEW OF SOUTH WEST CORNER ELEVATION



VIEW OF NORTH ELEVATION COVERED STAIRS



HOUSING
DESIGN
MATTERS

HOUSING DESIGN MATTERS
11512 LAKE MEAD AVENUE
SUITE 102
JACKSONVILLE, FL 32256
TELEPHONE 904-572-1909

DERYL L. PATTERSON

SG LIC. No. 5985



2 JUDITH STREET
MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

01.09.2020 SUBMITAL
NOT VALID UNLESS WET
SIGNATURE AND RAISED SEAL

PHOTOS
(EXISTING
CONDITIONS)

A-004



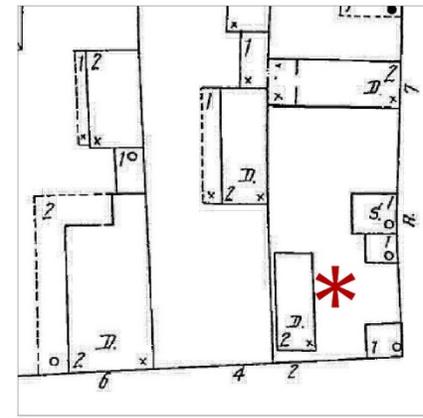
BAR FILE PHOTO (1991)



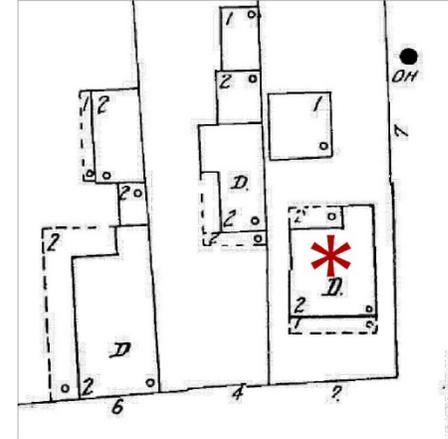
SURVEY CARD PHOTO (1985)



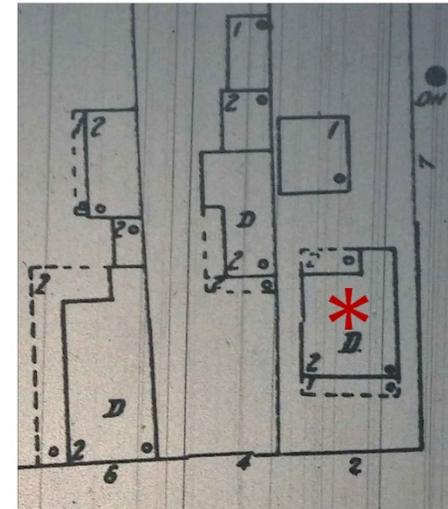
BAR FILE PHOTO (1991)



SANBORN MAP EXCERPT (1902)



SANBORN MAP EXCERPT (1944)



SANBORN MAP EXCERPT (1973)



**HOUSING
DESIGN
MATTERS**

HOUSING DESIGN MATTERS
11512 LAKE MEAD AVENUE
SUITE 102
JACKSONVILLE, FL 32256
TELEPHONE 904-372-1909

DERYL L. PATTERSON

SG LIC. No. 5985

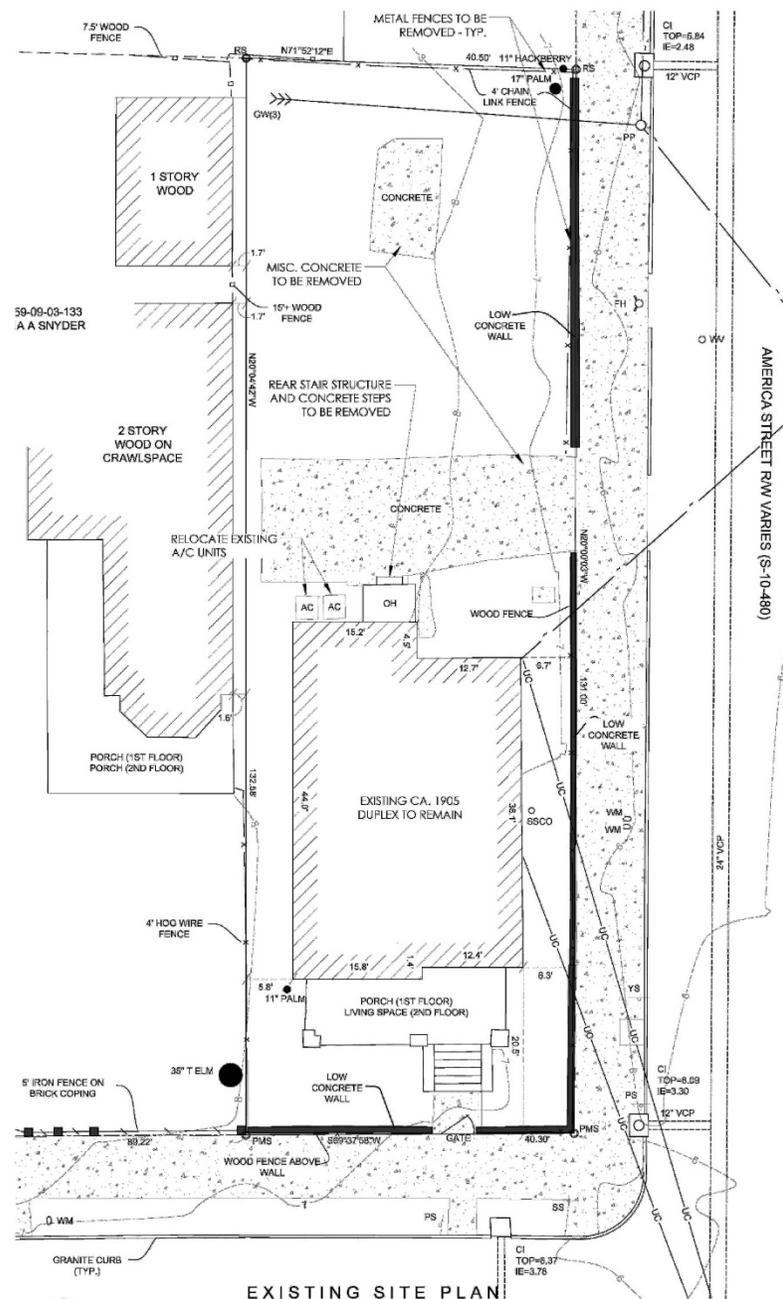


2 JUDITH STREET
MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

01.09.2020 SUBMITTAL
NOT VALID UNLESS WET
SIGNATURE AND RAISED SEAL

HISTORIC
IMAGES +
SANBORNS

A-005



Existing Site Plan

EXISTING SITE PLAN
 1/8" = 1'-0" (1/16" IF HALF-SIZED)
 TOTAL FOOTPRINT, incl. porches/steps/hvac - 1581 SF
 LOT SF: 5323 SF
 EXISTING LOT COVERAGE: = 30%



**HOUSING
DESIGN
MATTERS**

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 11512 LAKE MEAD AVENUE
 SUITE 102
 JACKSONVILLE, FL 32256
 TELEPHONE 904.572.1505

DERYL L. PATTERSON

S.C. LIC. No. 59885

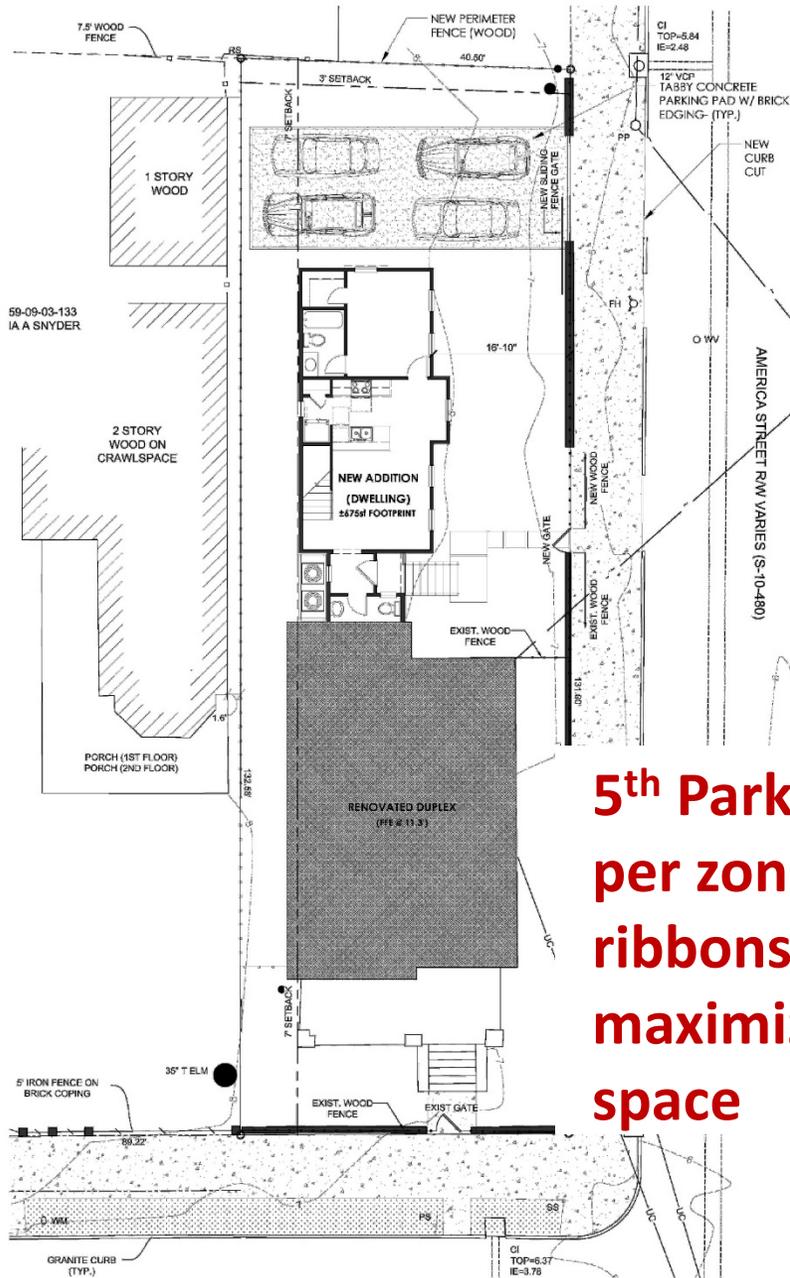


2 JUDITH STREET
 MODIFICATIONS TO DUPLEX RESIDENCE
 AND NEW ADDITION

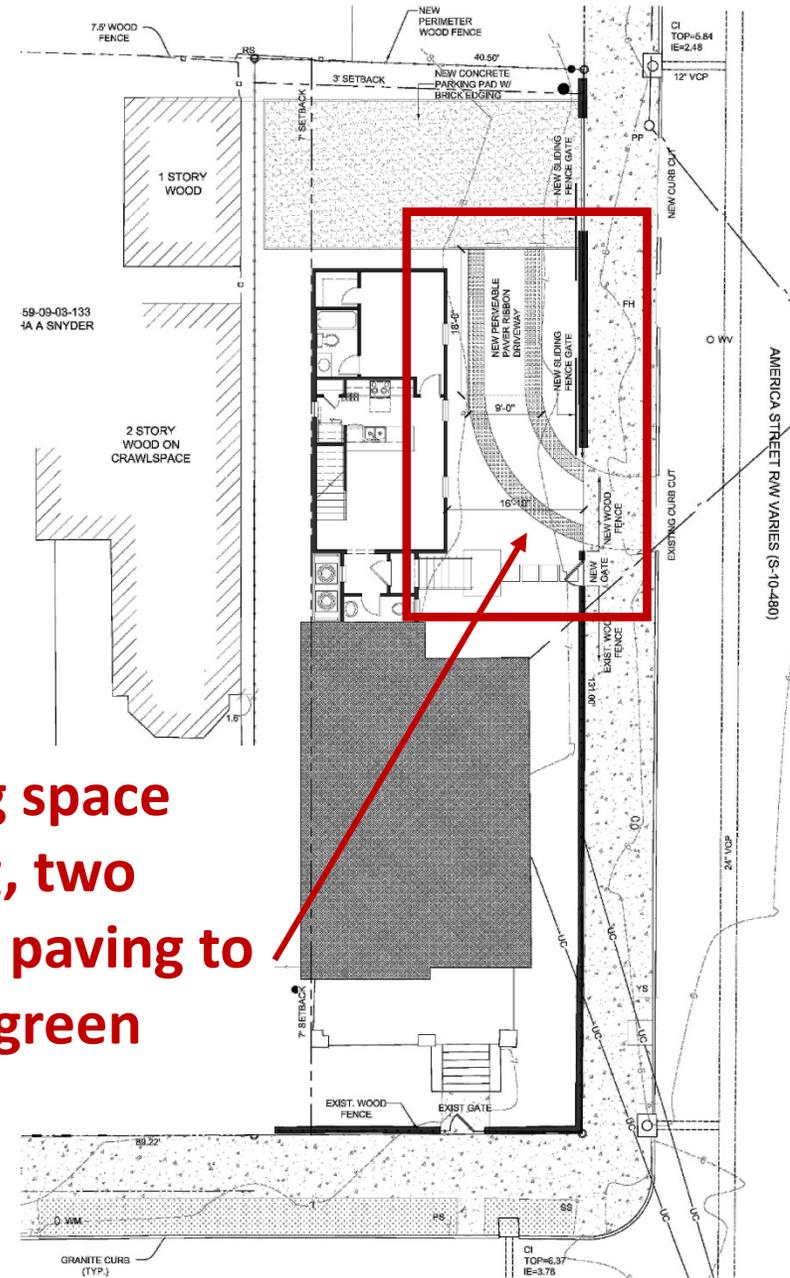
01.03.2020 SUBMITTAL
 NOT VALID UNLESS WET
 SIGNATURE AND RAISED SEAL

EXISTING
SITE LAYOUT

A-006



PREVIOUS SITE PLAN
 1/8" = 1'-0" (1/16" IF HALF-SIZED)
 TOTAL FOOTPRINT, incl. porches/steps/hvac - 2127 SF
 LOT SF: 5323 SF
 PROPOSED LOT COVERAGE: = 40%
 (Submitted 7.25.19)



PROPOSED SITE PLAN
 1/8" = 1'-0" (1/16" IF HALF-SIZED)
 TOTAL FOOTPRINT, incl. porches/steps/hvac - 2110 SF
 LOT SF: 5323 SF
 PROPOSED LOT COVERAGE: = 40%

5th Parking space per zoning, two ribbons of paving to maximize green space



HOUSING DESIGN MATTERS
 11512 LAKE MEAD AVENUE
 SUITE 102
 JACKSONVILLE, FL 32256
 TELEPHONE 904.372.1505

DERYL L. PATTERSON

S.O. LIC. No. 59965

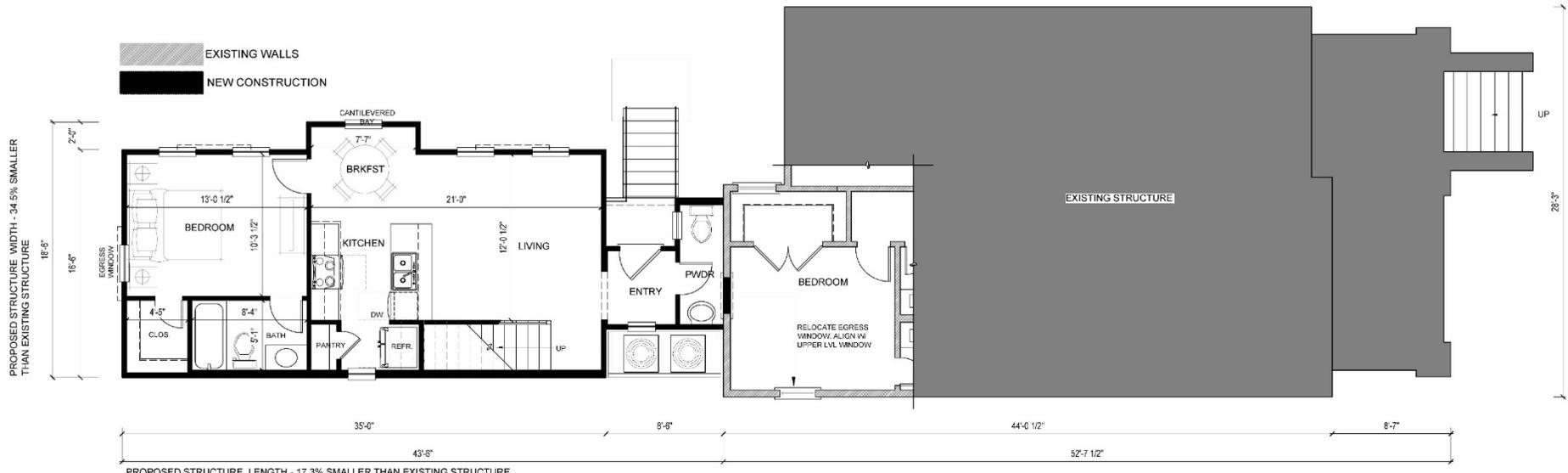


2 JUDITH STREET
 MODIFICATIONS TO DUPLEX RESIDENCE
 AND NEW ADDITION

01.03.2020 SUBMITAL
 NOT VALID UNLESS WET
 SIGNATURE AND RAISED SEAL

PREVIOUS &
 PROPOSED
 SITE PLANS

A-007



PROPOSED STRUCTURE WIDTH - 34.5% SMALLER THAN EXISTING STRUCTURE

PROPOSED STRUCTURE LENGTH - 17.3% SMALLER THAN EXISTING STRUCTURE

Previous First Floor Plan

PREVIOUS FIRST FLOOR PLAN

1/4" = 1'-0" (1/8" IF HALF-SIZED)
(Submitted 7.25.19)

EXISTING HOME AND PROPOSED CARRIAGE HOME COMPARISON TABLE			
	EXISTING	CARRIAGE	% SUBORDINATE
BUILDING HEIGHTS	32'-7"	25'-3"	24%
BUILDING LENGTHS	52'-7"	43'-6"	24%
BUILDING WIDTHS	28'-3"	16'-6"	42%
SOFT UNDER ROOF	2786	1202	57%

EXISTING WALLS
NEW CONSTRUCTION

PROPOSED CARRIAGE AREA	
MAIN FLOOR	541
UPPER FLOOR	543
SUBTOTAL	1184
ENTRY	18
TOTAL	1202

PROPOSED STRUCTURE WIDTH - 42% SMALLER THAN EXISTING STRUCTURE

PROPOSED STRUCTURE LENGTH - 24% SMALLER THAN EXISTING STRUCTURE

Proposed First Floor Plan

PROPOSED FIRST FLOOR PLAN

1/4" = 1'-0" (1/8" IF HALF-SIZED)



HOUSING DESIGN MATTERS

HOUSING DESIGN MATTERS
11512 LAKE MEAD AVENUE
SUITE 102
JACKSONVILLE, FL 32256
TELEPHONE 904-372-1909

DERYL L. PATTERSON

S.G. LIC. No. 59985



2 JUDITH STREET
MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

01.09.2020 SUBMITTAL
NOT VALID UNLESS WET
SIGNATURE AND RAISED SEAL

PREVIOUS &
PROPOSED
FIRST LEVEL
FLOOR PLANS

A-101



**HOUSING
DESIGN
MATTERS**

HOUSING DESIGN MATTERS
11512 LAKE MEAD AVENUE
SUITE 102
JACKSONVILLE, FL 32256
TELEPHONE 904-372-1909

DERYL L. PATTERSON

SG LIC. No. 59985



2 JUDITH STREET
MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

01.09.2020 SUBMITTAL
NOT VALID UNLESS WET
SIGNATURE AND RAISED SEAL

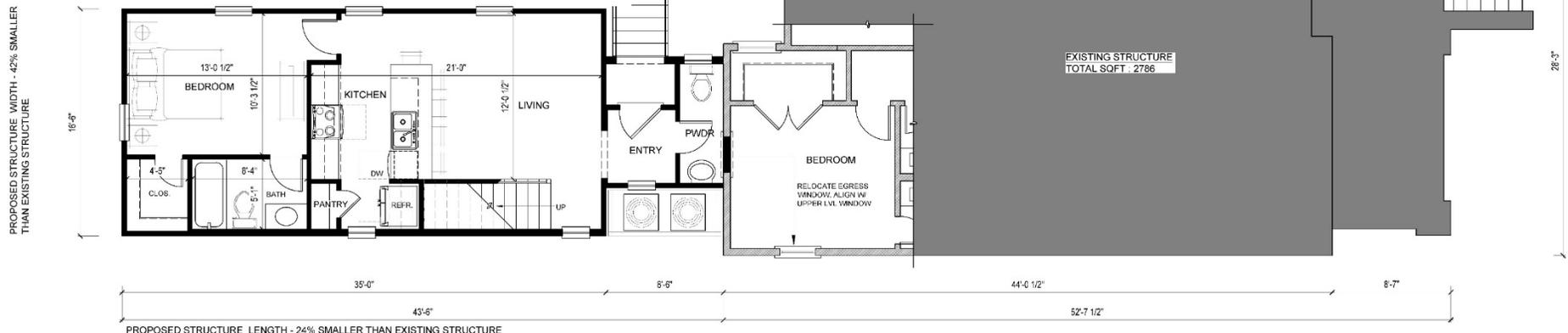
PREVIOUS &
PROPOSED
FIRST LEVEL
FLOOR PLANS

A-101



PREVIOUS FIRST FLOOR PLAN
1/4" = 1'-0" (1/8" IF HALF-SIZED)
(Submitted 7.25.19)

EXISTING HOME AND PROPOSED CARRIAGE HOME COMPARISON TABLE			
	EXISTING	CARRIAGE	% SUBORDINATE
BUILDING HEIGHTS	32'-7"	25'-3"	24%
BUILDING LENGTHS	52'-7"	43'-6"	24%
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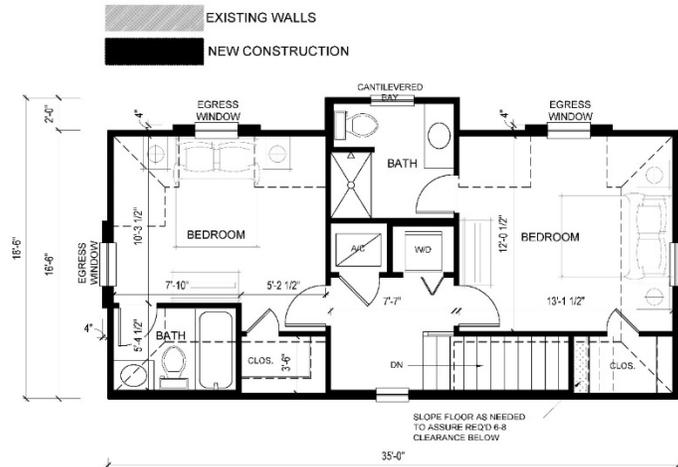


PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0" (1/8" IF HALF-SIZED)

PROPOSED STRUCTURE WIDTH - 34.5% SMALLER THAN EXISTING STRUCTURE

PROPOSED STRUCTURE WIDTH - 42% SMALLER THAN EXISTING STRUCTURE

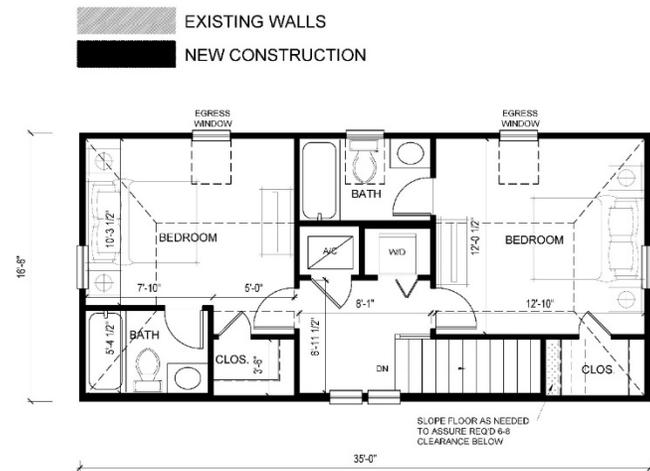
PROPOSED STRUCTURE LENGTH - 24% SMALLER THAN EXISTING STRUCTURE



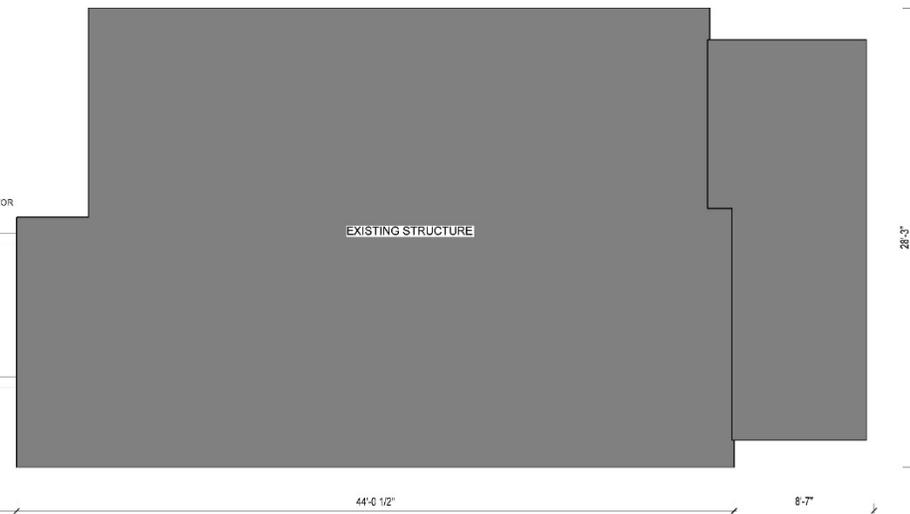
Previous Second Floor Plan



PREVIOUS SECOND FLOOR PLAN
1/4" = 1'-0" (1/8" IF HALF-SIZED)
(Submitted 7.25.19)



Proposed Second Floor Plan



PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0" (1/8" IF HALF-SIZED)



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TELEPHONE 904.372.1503

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SC LIC. No. 5985



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MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

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PREVIOUS &
PROPOSED
SECOND
LEVEL FLOOR
PLANS

A-102



**HOUSING
DESIGN
MATTERS**

HOUSING DESIGN MATTERS
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SUITE 102
JACKSONVILLE, FL 32256
TELEPHONE 904-572-1909

DERYL L. PATTERSON

SG LIC. No. 5985

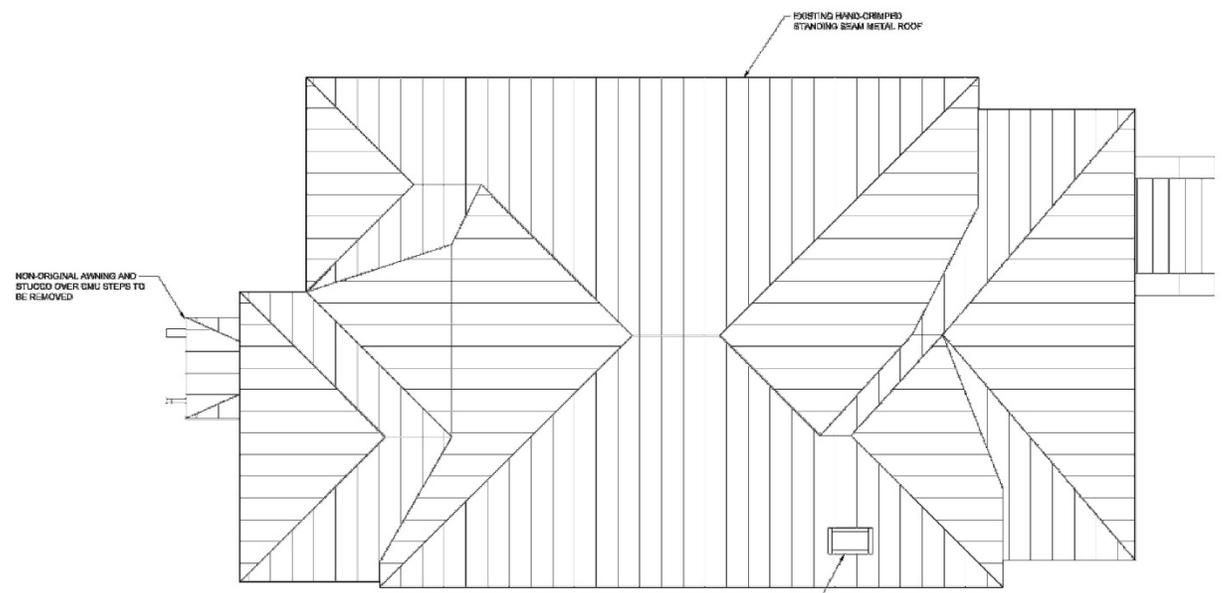


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MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

01.09.2020 SUBMITAL
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EXISTING
ROOF PLAN

A-103



EXISTING ROOF PLAN
1/4" = 1'-0" (1/8" IF HALF-SIZED)



EXISTING SOUTH ELEVATION
 NO ADDITIONAL CHANGES REQUIRED
 1/4" = 1'-0" (1/8" IF HALF-SIZED)



EXISTING EAST SIDE ELEVATION
 1/4" = 1'-0" (1/8" IF HALF-SIZED)



**HOUSING
 DESIGN
 MATTERS**

HOUSING DESIGN MATTERS
 11512 LAKE MEAD AVENUE
 SUITE 102
 JACKSONVILLE, FL 32256
 TELEPHONE 904-572-1909

DERYL L. PATTERSON

SG LIC. No. 5985



2 JUDITH STREET
 MODIFICATIONS TO DUPLEX RESIDENCE
 AND NEW ADDITION

01.09.2020 SUBMITAL
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EXISTING
 EXTERIOR
 ELEVATIONS

A-200a



HOUSING DESIGN MATTERS

HOUSING DESIGN MATTERS
11512 LAKE MEAD AVENUE
SUITE 102
JACKSONVILLE, FL 32256
TELEPHONE 904-572-1909

DERYL L. PATTERSON

SC LIC. No. 5995

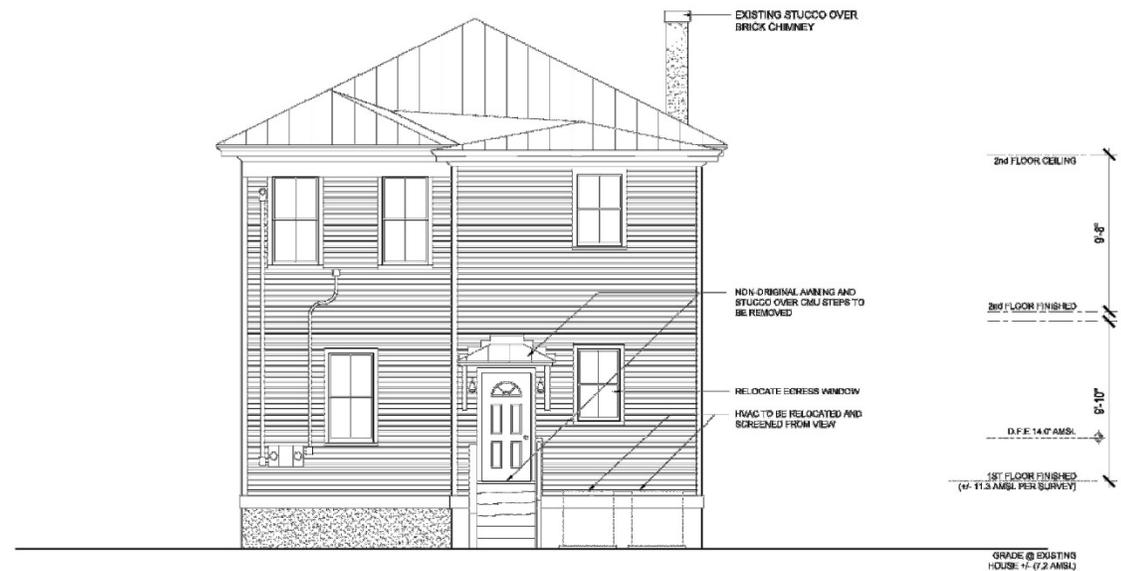


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MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

01.09.2020 SUBMITAL
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EXISTING
EXTERIOR
ELEVATIONS

A-200b



EXISTING NORTH (Rear) ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



EXISTING WEST SIDE ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)



**HOUSING
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MATTERS**

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DERYL L. PATTERSON

SC LIC. No. 5985



2 JUDITH STREET
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PREVIOUS &
PROPOSED
EXTERIOR
ELEVATIONS

A-201



Previous East Side Elevation

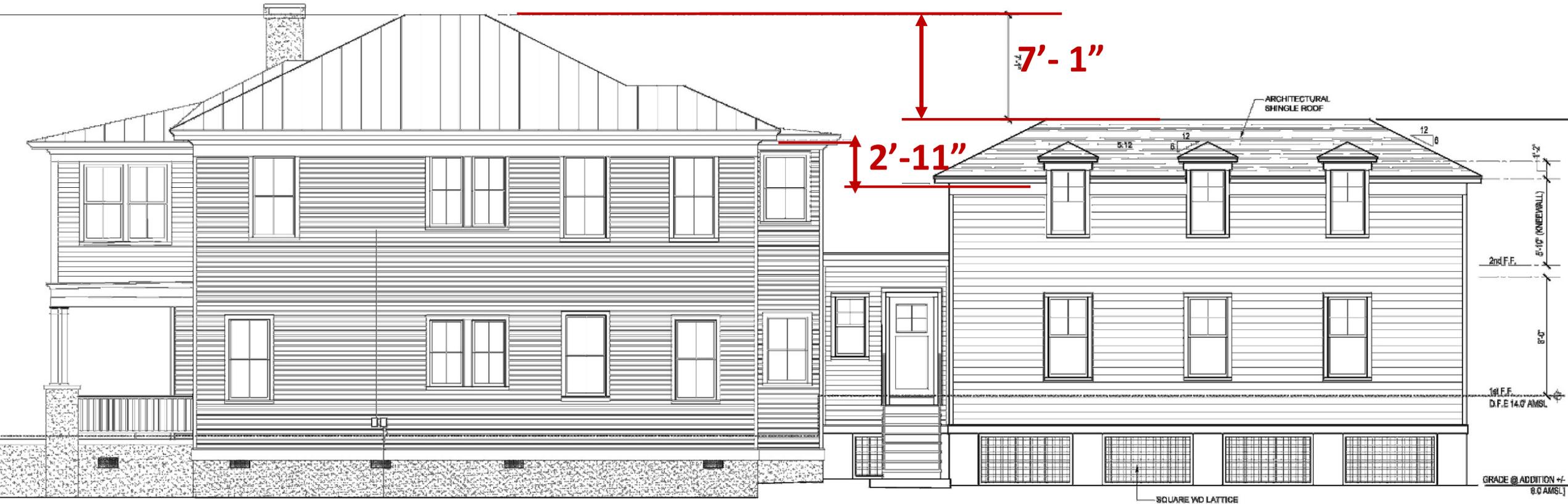
PREVIOUS EAST SIDE ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)
(Submitted 7.25.19)



Proposed East Side Elevation

PROPOSED EAST SIDE ELEVATION
1/4" = 1'-0" (1/8" IF HALF-SIZED)

Subordinate in Height, Scale and Mass



Ridge lowered 1'-6 ¼" from previous submission

Eave dropped 8 ½" from previous submission

Second floor plate height is 5'-10"

Ridge of addition slightly just higher than eave of main house

Subordinate in Height, Scale and Mass



Ridge lowered 1'-6 ¼" from previous submission

Eave dropped 8 ½" from previous submission

Second floor plate height is 5'-10"

Ridge of addition slightly just higher than eave of main house

Subordinate in Height, Scale and Mass



Ridge lowered 1'-6 ¼" from previous submission

Eave dropped 8 ½" from previous submission

Second floor plate height is 5'-10"

Ridge of addition just slightly higher than eave of main house

One and a Half Story Addition



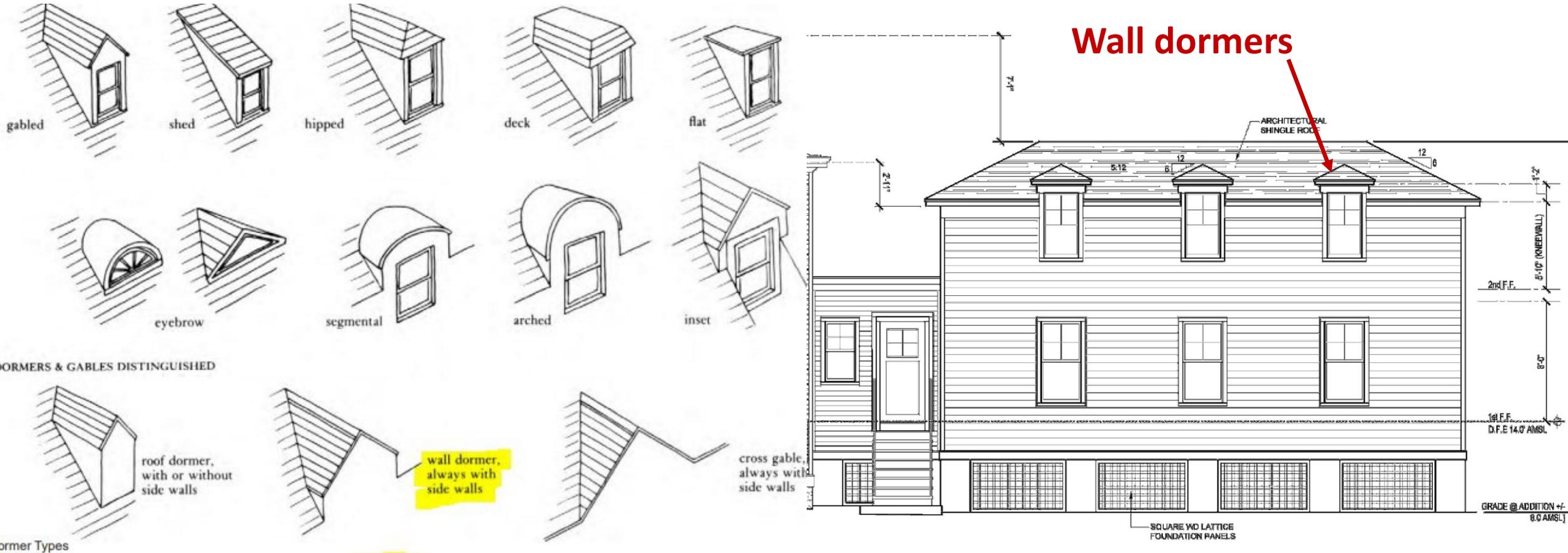
$$20' \times .75 = 15'$$

Subordinate in Detail and Design



Simpler three bay window pattern, building form & roof design. Windows of the addition are smaller and utilize a 4 over 1 window lites to differentiate them from original house.

Dormer Windows Key to 2nd Floor Livability

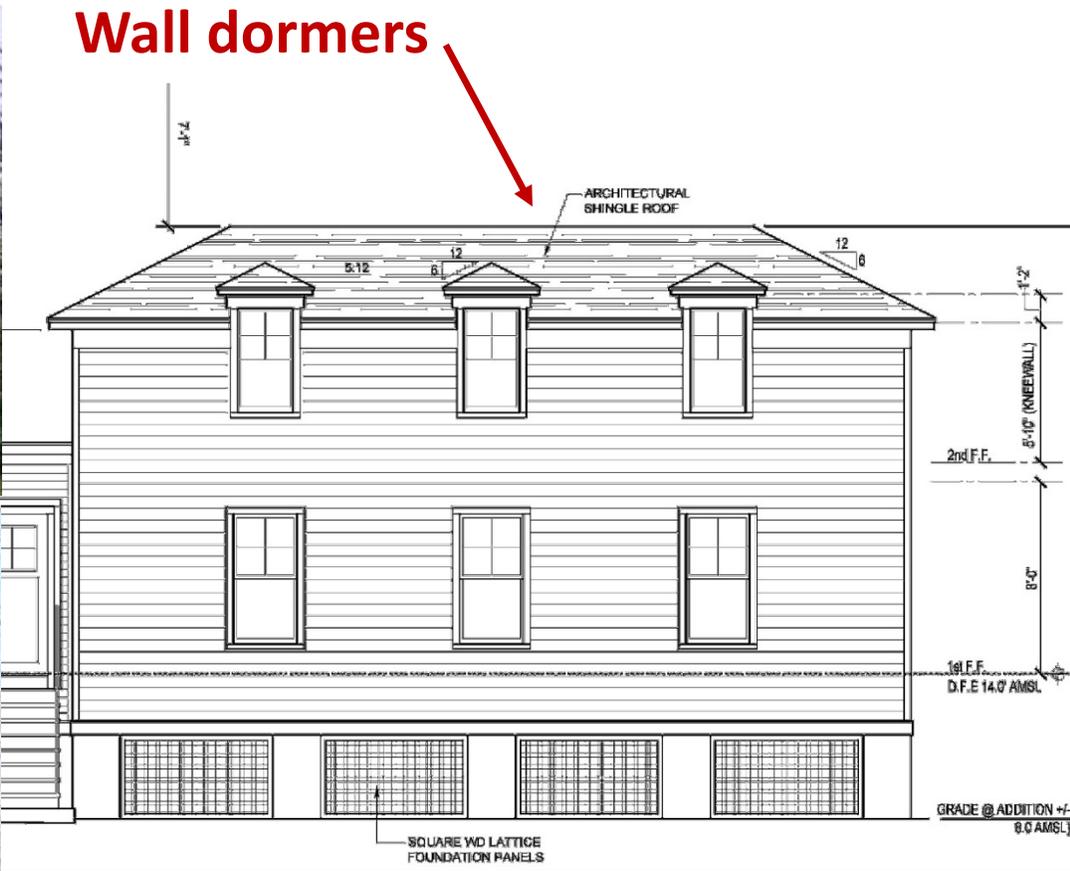


Dormer Types

Image Credit: Page 44, A Field Guide to American Houses, Virginia & Lee McAlister, 1984

Wall dormers as defined by: A Field Guide to American Houses

Historical Precedent for Wall Dormers





PREVIOUS NORTH ELEVATION

1/4" = 1'-0" (1/8" IF HALF-SIZED)
(Submitted 7.25.19)

Previous North Elevation



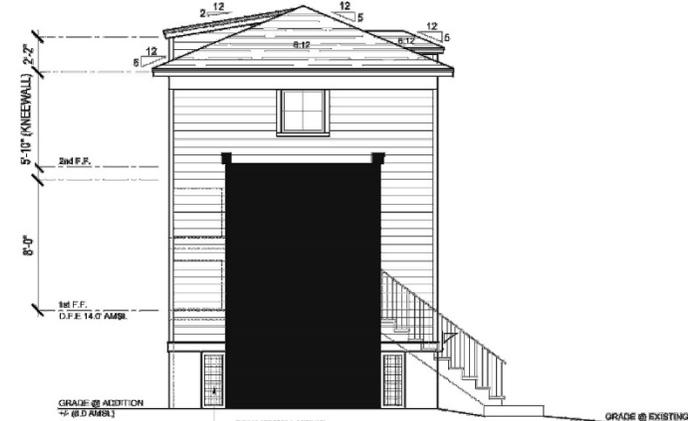
PROPOSED NORTH ELEVATION

1/4" = 1'-0" (1/8" IF HALF-SIZED)

Proposed North Elevation



Previous South Elevation



Proposed South Elevation



HOUSING
DESIGN
MATTERS

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TELEPHONE 904-572-1909

DERYL L. PATTERSON

SO LIC. No. 5995



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MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

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PREVIOUS &
PROPOSED
EXTERIOR
ELEVATIONS

A-202

GUTTERS/DOWNSPOUTS NOT SHOWN FOR CLARITY - CONTRACTOR TO COORDINATE WITH INSTALLER AND SUBMIT PROPOSED CONFIGURATION FOR REVIEW/APPROVAL PRIOR TO INSTALLATION



Previous West Elevation

PREVIOUS WEST SIDE ELEVATION
 1/4" = 1'-0" (1/8" IF HALF-SIZED)
 (Submitted 7.25.19)



Proposed West Elevation

PROPOSED WEST SIDE ELEVATION
 1/4" = 1'-0" (1/8" IF HALF-SIZED)



**HOUSING
 DESIGN
 MATTERS**

HOUSING DESIGN MATTERS
 11512 LAKE MEAD AVENUE
 SUITE 102
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 TELEPHONE 904-572-1505

DERYL L. PATTERSON

SO LIC. No. 5985



2 JUDITH STREET
 MODIFICATIONS TO DUPLEX RESIDENCE
 AND NEW ADDITION

01.09.2020 SUBMITAL
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PREVIOUS &
 PROPOSED
 EXTERIOR
 ELEVATIONS

A-203

Being a Good Neighbor

Minimized windows & used high glass for privacy

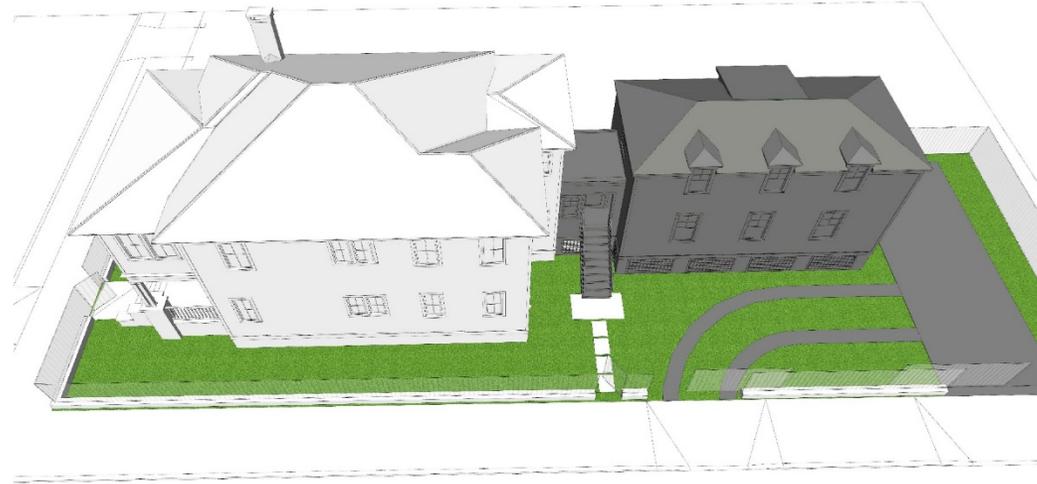


PROPOSED WEST SIDE ELEVATION

1/4" = 1'-0" (1/8" IF HALF-SIZED)



JUDITH STREET VIEW



AERIAL VIEW CORNER OF JUDITH STREET AND AMERICA STREET



AMERICA STREET VIEW



**HOUSING
DESIGN
MATTERS**

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11512 LAKE MEAD AVENUE
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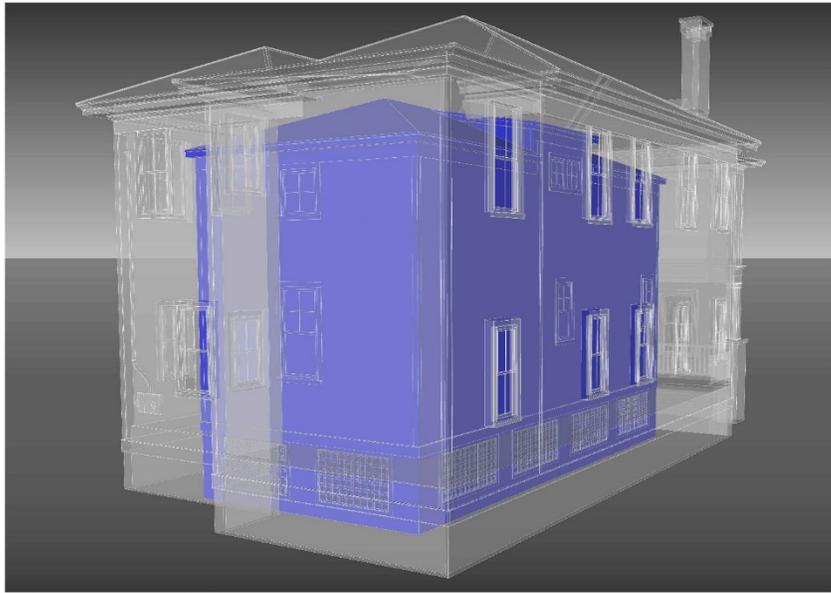


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MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

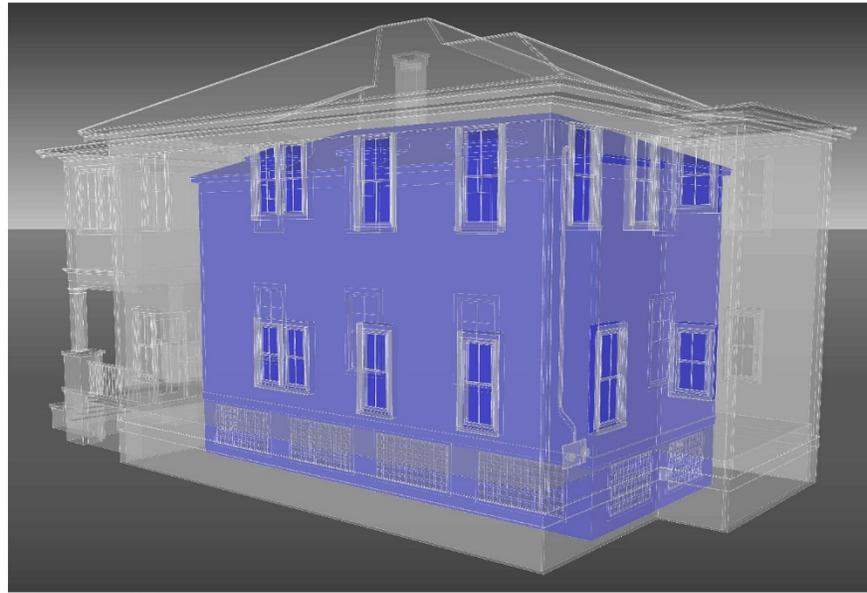
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CURRENT
3D VIEWS

A-301

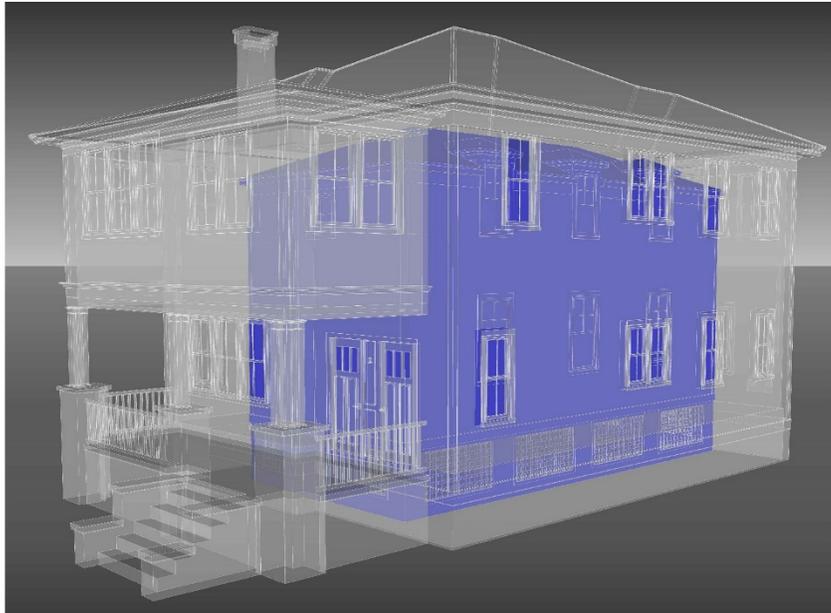


NORTH WEST CORNER ELEVATION

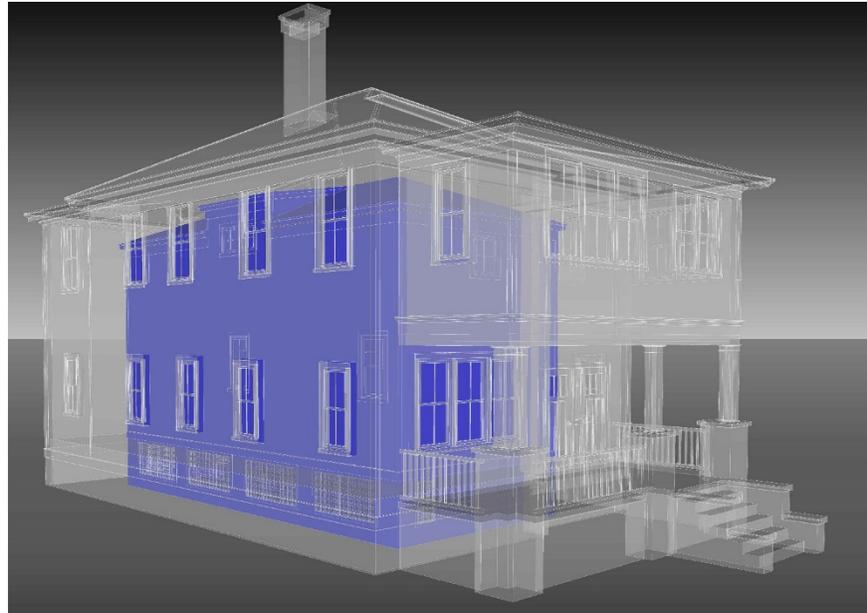


NORTH EAST CORNER ELEVATION

ADDITION FITS WITHIN ORIGINAL HOUSE WITHOUT CONTACTING FRONT, SIDES, REAR WALL AND ROOF



SOUTH EAST CORNER ELEVATION



SOUTH WEST CORNER ELEVATION



HOUSING
DESIGN
MATTERS

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MODIFICATIONS TO DUPLEX RESIDENCE
AND NEW ADDITION

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ILLUSTRATION
OF
SUBORDINATE
SCALE

A-302

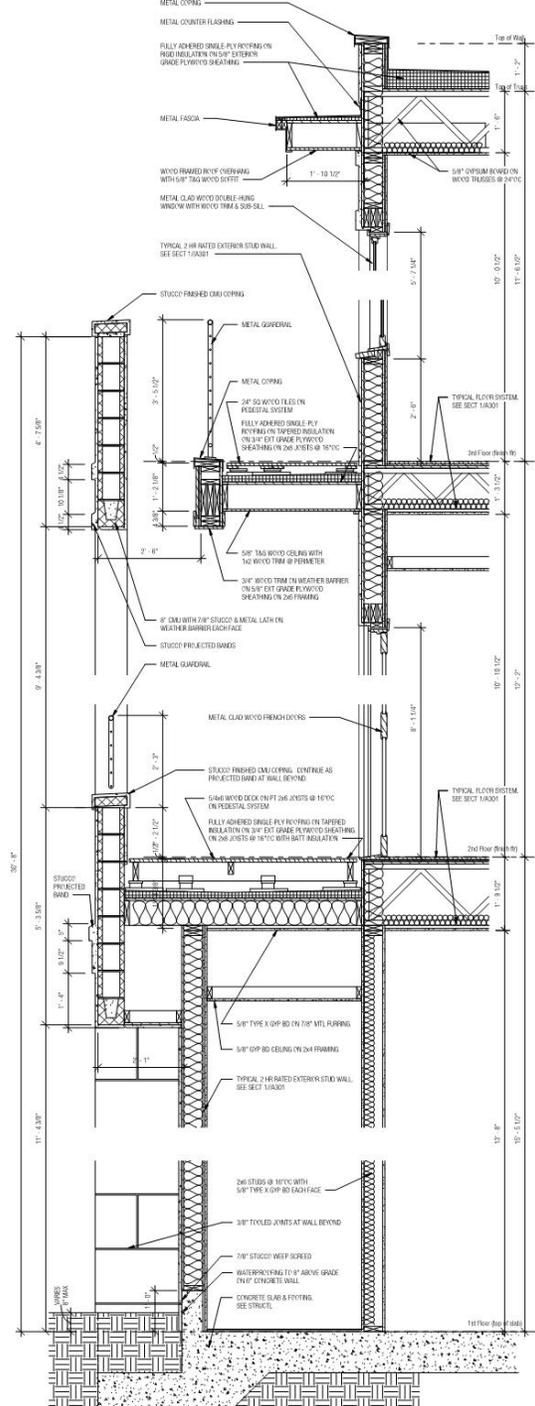
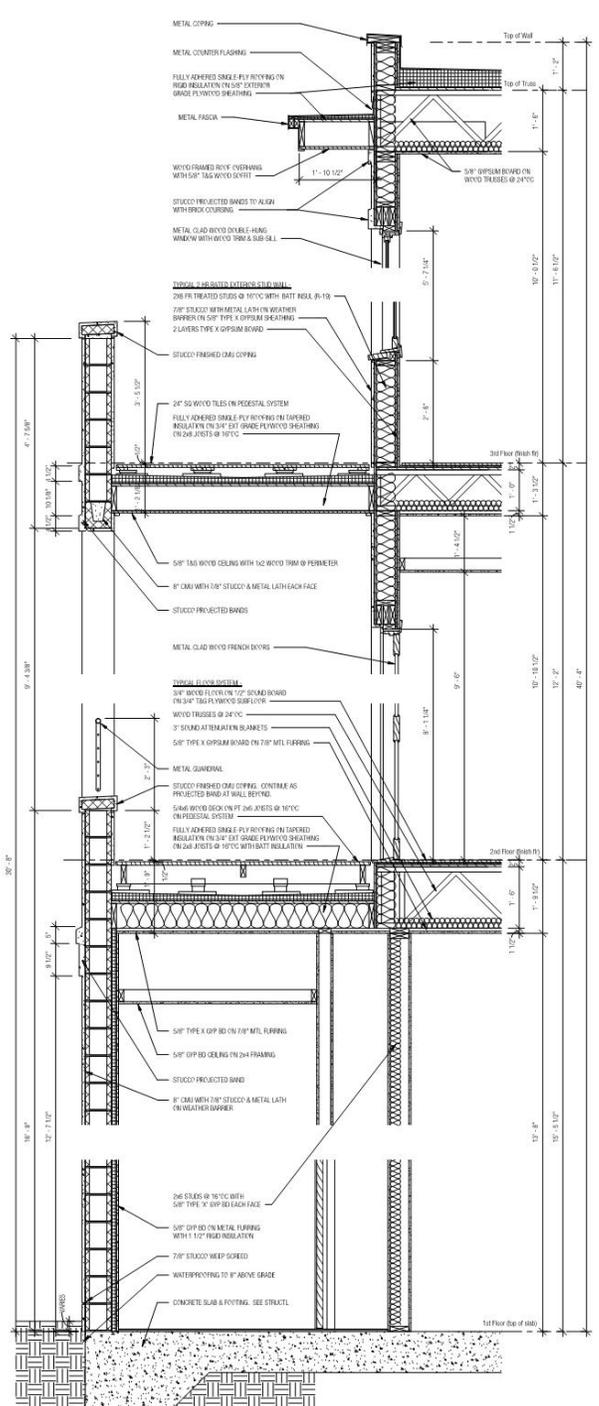


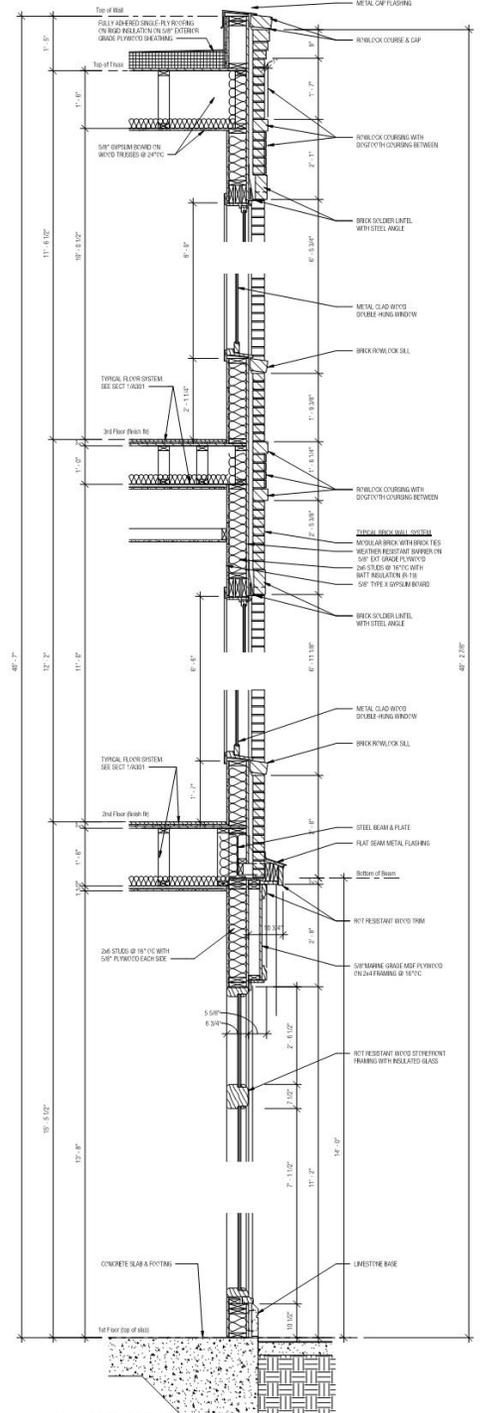
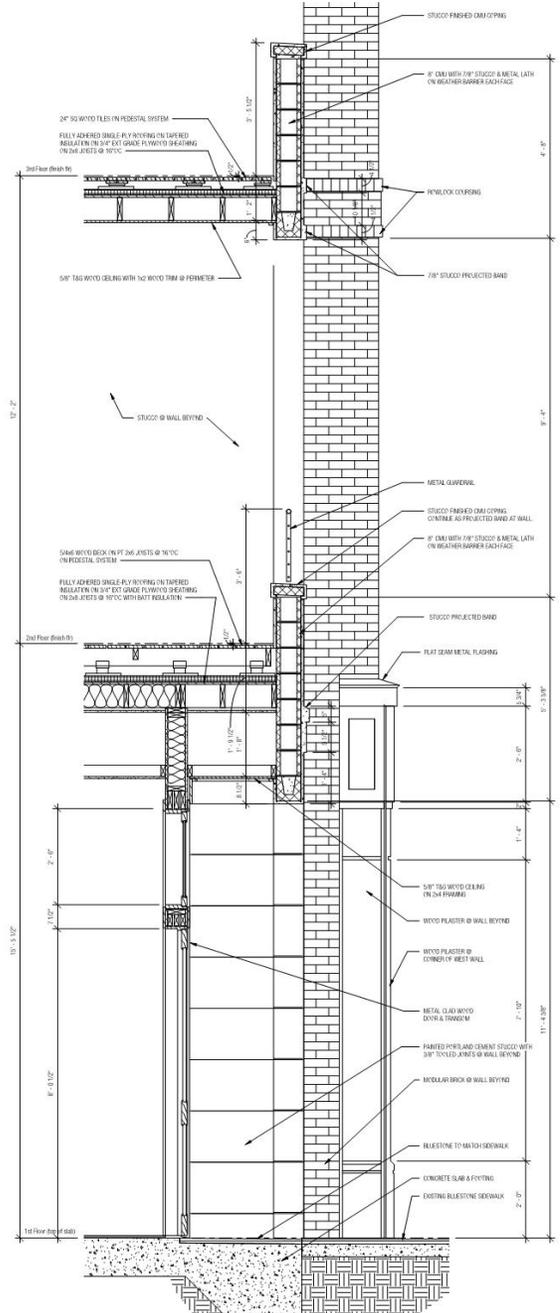
Agenda Item #7

540 KING STREET
TMS # 460-08-04-062

Request preliminary approval for the new construction of a three-story mixed-use structure.

New Construction (Cannonborough/Elliottborough) Old and Historic District





Agenda Item #8

735 King Street
TMS # 460-03-02-005

Request conceptual approval for the new construction of a one-story commercial building.

New Construction (North Central) / Historic Corridor District



6 LOCATION MAP
SCALE: N/A

A.F.F. = ABOVE FINISH FLOOR	O.P.O.I. = OWNER PROVIDED, OWNER INSTALLED
CL = CENTER LINE	OPP = OPPOSITE
CONC = CONCRETE	PEMB = PRE ENGINEERED METAL BUILDING
CONT = CONTINUOUS	PT = PRESSURE TREATED
ELEV. = ELEVATION	PTD = PAINTED
EQ = EQUAL	SIM = SIMILAR
EXT = EXTERIOR	SYP = SOUTHERN YELLOW PINE
F.O.B. = FACE OF BLOCK	TBD = TO BE DETERMINED
F.O.S. = FACE OF STUD	TBS = TO BE SELECTED
F.O.W. = FACE OF WALL, (BRICK OR FINISH)	TYP = TYPICAL
FTG = FOOTING	VF = VERIFY IN FIELD
HDG = HOT DIPPED GALVANIZED	WD = WOOD
INT = INTERIOR	WRC = WESTER RED CEDAR
KD = KILN DRIED	DOOR DESIGNATION SYMBOL
N.I.C. = NOT IN CONTRACT	WINDOW DESIGNATION SYMBOL
MR = MOISTURE RESISTANT	— DIMENSION TO CENTER LINE
O.C. = ON CENTER	STRUCTURAL COLUMN LINE
O.P.C.I. = OWNER PROVIDED, CONTRACTOR INSTALLED	INSULATION

5 ABBREVIATIONS & SYMBOLS
SCALE: N/A

1. **BASE ZONING LAYER** - G6 (GENERAL BUSINESS)
2. **ZONING OVERLAY LAYERS**
OLD CITY HEIGHTS DISTRICT 2.5
AMUSEMENT & RECREATION OVERLAY
HISTORIC CORRIDOR DISTRICT
3. **HEIGHT, AREA, AND SETBACK REGULATIONS (ZONING MUNICICODE TABLE 3.1)**
FRONT SETBACK - NOT REQUIRED
REAR SETBACK - NOT REQUIRED
SIDE SETBACKS - NOT REQUIRED
4. **PARKING REQUIREMENTS (ZONING MUNICICODE TABLE 3.3)**
EATING PLACES: FAST FOOD, DRIVE-THRU, TAKE-OUT AND/OR EXPRESS PREPARED FOOD DELIVERY ONLY - 1 PER 75 SF OF INSIDE PATRON USE AREA, PLUS 1 PER 200 SF OF OUTSIDE PATRON USE AREA
5. **FLOOD ZONE** - AE 13

4 PROJECT NOTES
SCALE: N/A

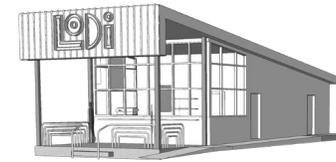
- G101 - TITLE SHEET
G102 - SURVEY
C4 - SITE PLAN
A101 - FLOOR PLAN
A103 - ROOF PLAN
A201 - EXTERIOR ELEVATIONS
A202 - EXTERIOR PERSPECTIVE VIEW
A203 - EXTERIOR PERSPECTIVE VIEW
A301 - BUILDING SECTION

3 DRAWING LIST
SCALE: N/A

LODI COFFEE 735 KING STREET CHARLESTON, SC 29403

TMS # 460-030-2005

BAR SUBMITTAL
12.19.2019



2 PROJECT IMAGE
SCALE: N/A



ARCHITECTURE AND PROJECT MANAGEMENT
DAVID THOMPSON - 843-297-8939
DTHOMPSON@DTHOMPSONARCHITECT.COM



CIVIL ENGINEERING
ERICA CHASE - 843-371-0781
ERICA.CHASE@STANTEC.COM



STRUCTURAL ENGINEERING
JOHN MOORE - 843-722-1992
JMOORE@4SEINC.COM



MECHANICAL, ELECTRICAL, PLUMBING ENGINEERING
HENSLEY & GOERLING CONSULTING ENGINEERS
DEREK HENSLEY - 843-826-4444
DWHEHNSLEY@HGCENG.COM



OWNER
JOHNNY GROSSO
JOHNNYGROSSO@YAHOO.COM

1 PROJECT TEAM
SCALE: N/A



DAVID THOMPSON ARCHITECT, LLC
CHARLESTON, SC / 843-297-8939
WWW.DTHOMPSONARCHITECT.COM

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NOT FOR CONSTRUCTION



ISSUED DATE / REVISIONS
BAR SUBMITTAL 12.19.2019

LODI COFFEE
735 King Street
Charleston, SC 29403





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 CHARLESTON, SC | 843-297-8939
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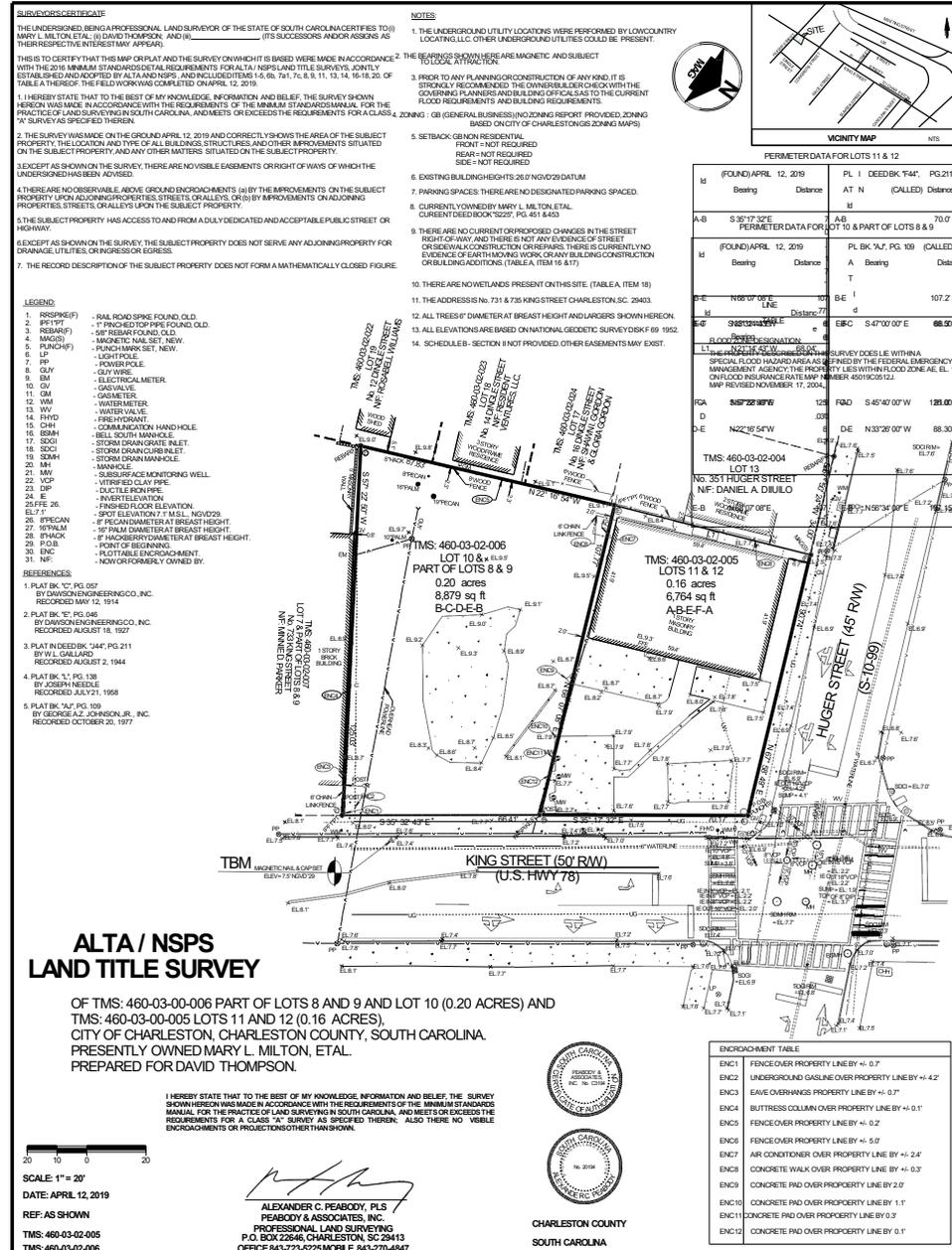
NOT FOR CONSTRUCTION



ISSUED DATE / REVISIONS
 BAR SUBMITTAL 12.19.2019

LODI COFFEY
 735 King Street
 Charleston, SC 29403

G102



SURVEYOR'S CERTIFICATE

THE UNDERSIGNED BEING A PROFESSIONAL LAND SURVEYOR OF THE STATE OF SOUTH CAROLINA CERTIFIES THAT MARY L. MILTON, ETAL., (HUSBAND THOMPSON, AND HIS SUCCESSORS AND/OR HEIRS AS THEIR RESPECTIVE INTERESTS MAY APPEAR).

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE NO VISIBLE ENCUMBRANCES OR PROJECTIONS OTHER THAN SHOWN.

1. I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

2. THE SURVEY WAS MADE ON THE 09TH OF APRIL 12, 2019 AND CORRECTLY SHOWS THE AREA OF THE SUBJECT PROPERTY, THE LOCATION AND TYPE OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE SUBJECT PROPERTY AND ANY OTHER MATTERS SITUATED ON THE SUBJECT PROPERTY.

3. EXCEPT AS SHOWN ON THE SURVEY, THERE ARE NO VISIBLE EASEMENTS OR RIGHTS OF WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED.

4. THERE ARE NO OBSERVABLE ABOVE GROUND ENCUMBRANCES (a) BY THE IMPROVEMENTS ON THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS, OR ALLEYS, OR (b) BY IMPROVEMENTS ON ADJOINING PROPERTIES, STREETS, OR ALLEYS UPON THE SUBJECT PROPERTY.

5. THE SUBJECT PROPERTY HAS ACCESS TO AND FROM A DULY DEDICATED AND ACCEPTABLE PUBLIC STREET OR HIGHWAY.

6. EXCEPT AS SHOWN ON THE SURVEY, THE SUBJECT PROPERTY DOES NOT SERVE ANY ADJOINING PROPERTY FOR DRAINAGE, UTILITIES, OR INGRESS OR EGRESS.

7. THE RECORD DESCRIPTION OF THE SUBJECT PROPERTY DOES NOT FORM A MATHEMATICALLY CLOSED FIGURE.

NOTES

1. THE UNDERGROUND UTILITY LOCATIONS WERE PERFORMED BY LOW COUNTRY LOCATING L.L.C. OTHER UNDERGROUND UTILITIES COULD BE PRESENT.

2. THE BOUNDARIES SHOWN WERE AEROMETRIC AND SUBJECT TO LOCAL ATTRACTION.

3. PRIOR TO ANY PLANNING OR CONSTRUCTION OF ANY KIND, IT IS STRONGLY RECOMMENDED THE OWNERS CONFER WITH THE GOVERNING PLANNERS AND BUILDING OFFICIALS AS TO THE CURRENT FLOOD REQUIREMENTS AND BUILDING REQUIREMENTS.

4. ZONING: (G) GENERAL BUSINESS/NO ZONING REPORT; ZONING BASED ON CITY OF CHARLESTON ZONING MAPS.

5. SETBACK: GENON RESIDENTIAL FRONT - NOT REQUIRED REAR - NOT REQUIRED SIDE - NOT REQUIRED

6. EXISTING BUILDING HEIGHTS 26.0' NVD/029 DATUM.

7. PARKING SPACES: THERE ARE NO DESIGNATED PARKING SPACES.

8. CURRENTLY OWNED BY MARY L. MILTON, ETAL. CURRENT DEED BOOK 5227, PG. 451 & 453

9. THERE ARE NO CURRENT OR PROPOSED CHANGES IN THE STREET RIGHT OF WAY AND THERE IS NOT ANY EVIDENCE OF STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. THERE IS CURRENTLY NO EVIDENCE OF EARTH MOVING WORK OR ANY BUILDING CONSTRUCTION OR BUILDING ADDITIONS. (TABLE A, ITEM 6 & 7)

10. THERE ARE NO WETLANDS PRESENT ON THIS SITE. (TABLE A, ITEM 16)

11. THE ADDRESS IS No. 731 & 735 KING STREET CHARLESTON, SC. 29403.

12. ALL TREES 6" DIAMETER AT BREAST HEIGHT AND LARGERS SHOWN HEREON.

13. ALL ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY (NAD 83) 89 1982.

14. SCHEDULE B - SECTION II NOT PROVIDED OTHER EASEMENTS MAY EXIST.

- LEGEND:**
- 1. RRSPK (RF) - RAIL ROAD SPIKE FOUND OLD.
 - 2. RPT (F) - 1" PIN NAIL TOP PRR FOUND OLD.
 - 3. RREAR (F) - 3/4" PIN NAIL FOUND OLD.
 - 4. M (MS) - MAGNETIC NAIL SET, NEW.
 - 5. P (P) - PUNCH MARK SET, NEW.
 - 6. LP - LIGHT POLE.
 - 7. PP - POWER POLE.
 - 8. EM - ELECTRIC METER.
 - 9. GV - GAS VALVE.
 - 10. GM - GAS METER.
 - 11. WM - WATER METER.
 - 12. WV - WATER VALVE.
 - 13. WW - WIRE WORK.
 - 14. F (FH) - FRESH AIR VENT.
 - 15. CH - COMMUNICATION HANDHOLE.
 - 16. S (SM) - BELL SOUTH MANHOLE.
 - 17. SDGI - STORM DRAIN GRATE INLET.
 - 18. SDCI - STORM DRAIN CURB INLET.
 - 19. SDMH - STORM DRAIN MANHOLE.
 - 20. M - MANHOLE.
 - 21. MV - SUBSURFACE MONITORING WELL.
 - 22. VCP - VITRIFIED CLAY PIPE.
 - 23. C (CF) - CUTE FLOOR PIPES.
 - 24. E - INVERT ELEVATION.
 - 25. FFE 26 - FINISHED FLOOR ELEVATION.
 - 26. R (R) - RPT ELEVATION 7" I.D. 1/2" NOD 20.
 - 27. W (W) - 1/2" P.C. DIAMETER AT BREAST HEIGHT.
 - 28. P (P) - 1/2" P.C. DIAMETER AT BREAST HEIGHT.
 - 29. P (P) - 1/2" P.C. DIAMETER AT BREAST HEIGHT.
 - 30. E (E) - POINT OF BEGINNING.
 - 31. NF - FLOODABLE ENCUMBRANCE.
 - 32. NF - NOW OR FORMERLY OWNED BY.

- REFERENCES:**
1. PLAT BK "C", PG. 057 BY DAWSON ENGINEERING CO., INC. RECORDED MAY 12, 1914
 2. PLAT BK "E", PG. 046 BY DAWSON ENGINEERING CO., INC. RECORDED AUGUST 18, 1927
 3. PLAT IN DEED BK "144", PG. 211 BY W.L. GALLARD RECORDED AUGUST 2, 1944
 4. PLAT BK "T", PG. 138 BY JOSHUA NEEDLE RECORDED JULY 21, 1958
 5. PLAT BK "A", PG. 109 BY GEORGE A. JOHNSON, JR., INC. RECORDED OCTOBER 20, 1977

TMS: 460-03-02-006 PART OF LOTS 8 & 9 0.20 acres 8,879 sq ft B-C-D-E

TMS: 460-03-02-005 LOTS 11 & 12 0.16 acres 6,764 sq ft A-B-E-F-A

HUGER STREET (45' RW) (S-70-39)

KING STREET (50' RW) (U.S. HWY 78)

ALTA / NSPS LAND TITLE SURVEY

OF TMS: 460-03-00-006 PART OF LOTS 8 AND 9 AND LOT 10 (0.20 ACRES) AND TMS: 460-03-00-005 LOTS 11 AND 12 (0.16 ACRES), CITY OF CHARLESTON, CHARLESTON COUNTY, SOUTH CAROLINA. PRESENTLY OWNED MARY L. MILTON, ETAL. PREPARED FOR DAVID THOMPSON.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE NO VISIBLE ENCUMBRANCES OR PROJECTIONS OTHER THAN SHOWN.

SCALE: 1" = 20'
 DATE: APRIL 12, 2019
 REF: AS SHOWN
 TMS: 460-03-02-005
 TMS: 460-03-02-006

ALEXANDER C. PEABODY, PLS
 PEABODY & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYING
 P.O. BOX 22646 CHARLESTON, SC 29413
 OFFICE 843-723-4223 MOBILE 843-270-4847



CHARLESTON COUNTY
 SOUTH CAROLINA



DAVID THOMPSON ARCHITECT, LLC
 CHARLESTON, SC / 843-297-8939
 WWW.DTHOMPSONARCHITECT.COM

DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.

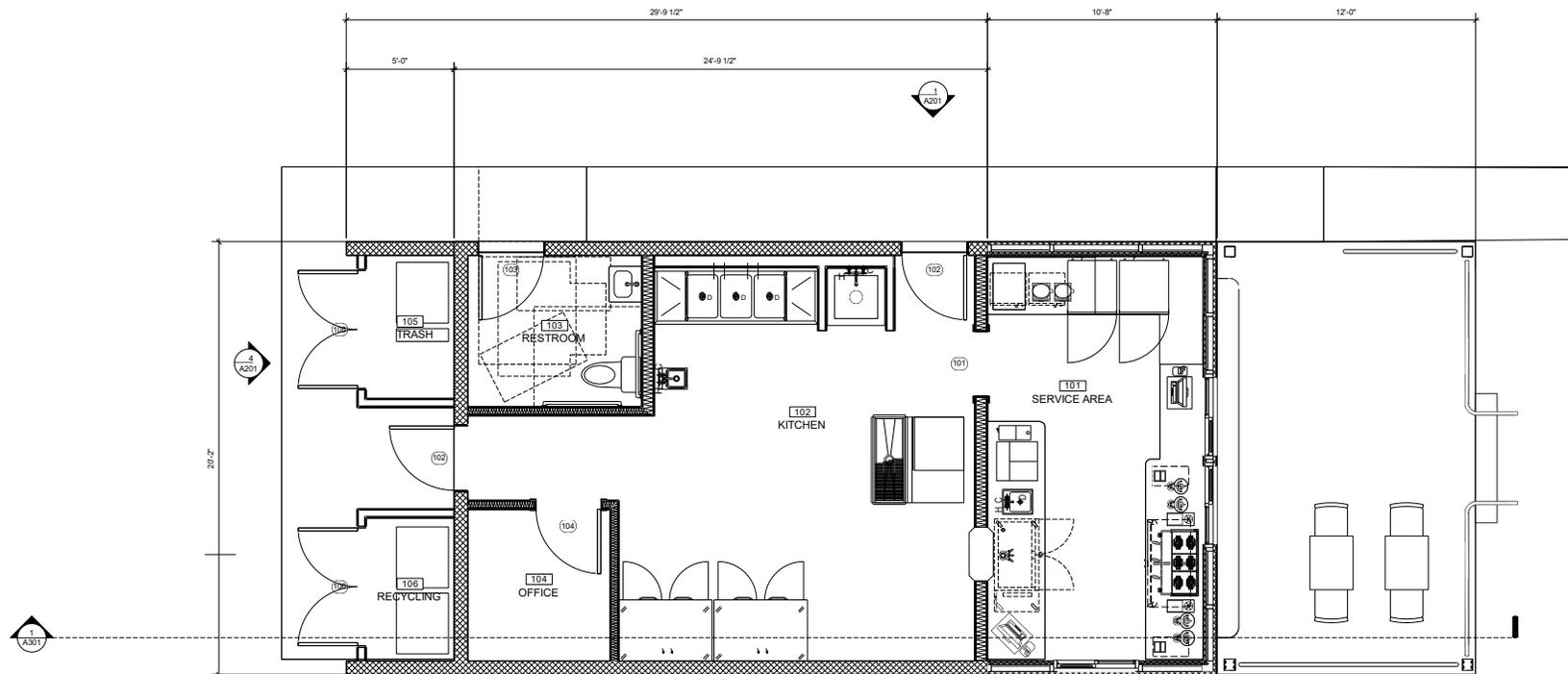
NOT FOR CONSTRUCTION



ISSUED DATE / REVISIONS
 BAR SUBMITTAL 12.19.2019

LODI COFFEE
 735 King Street
 Charleston, SC 29403

A101



1 FLOOR PLAN
 A101 SCALE: 3/8" = 1'-0"



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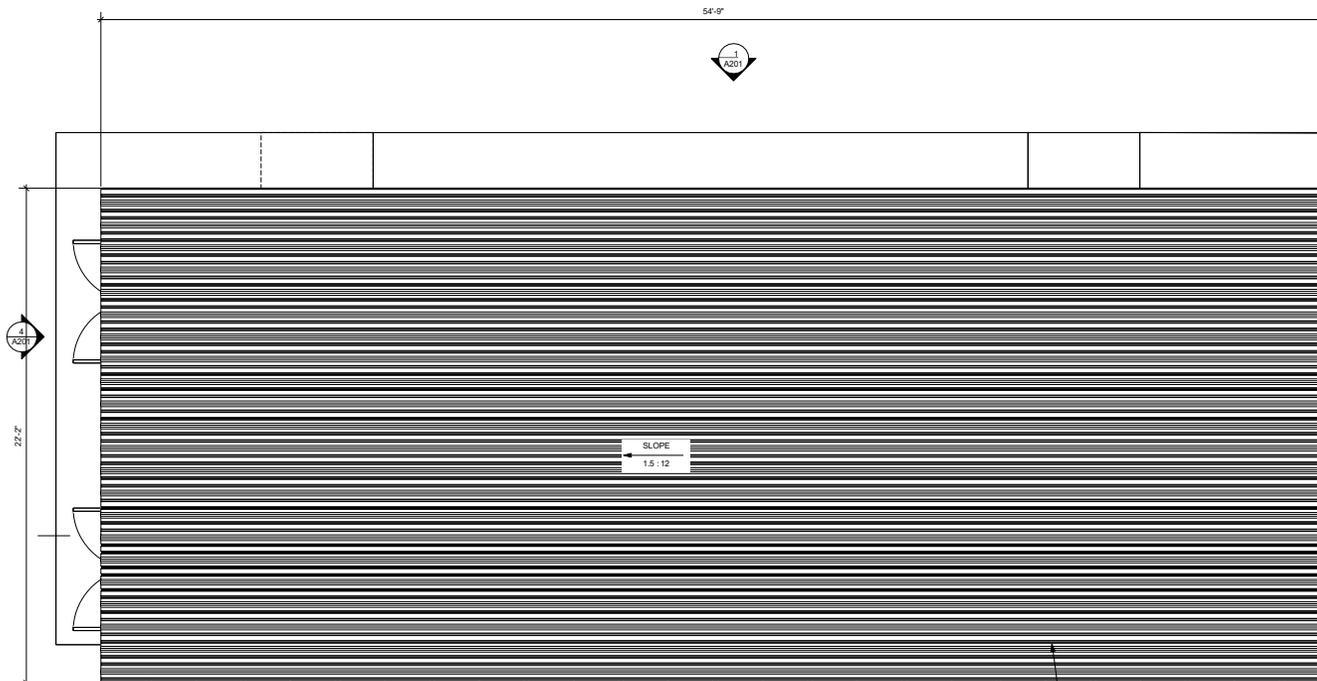
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LODI COFFEE
 735 King Street
 Charleston, SC 29403

A103



"R" PANEL BY EAGLE METALS
 - 28 GAUGE - POLAR WHITE

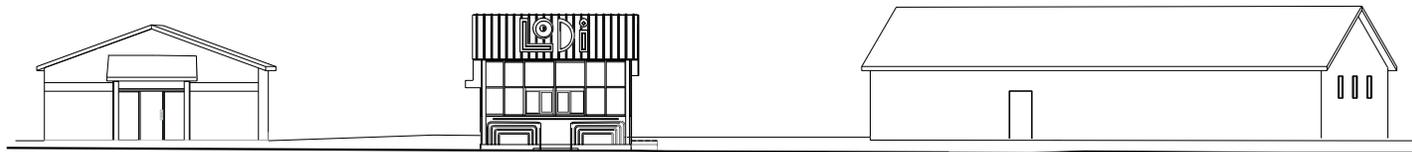


1
A103 FLOOR PLAN
SCALE: 3/8" = 1'-0"

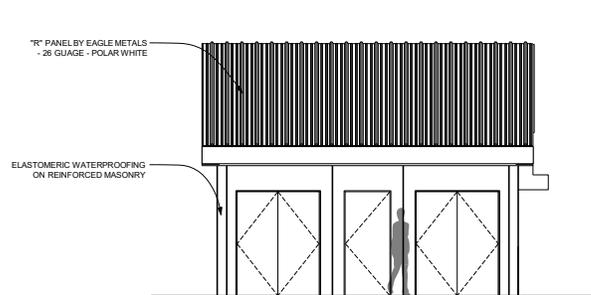


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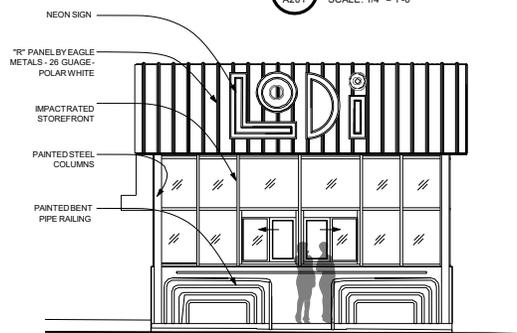
DRAWINGS AND THE DESIGN ARE THE PROPERTY OF THE ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT, THE DRAWINGS SHALL NOT BE USED BY THE PROJECT OWNER OR ANYONE ELSE FOR ANY OTHER PROJECT.



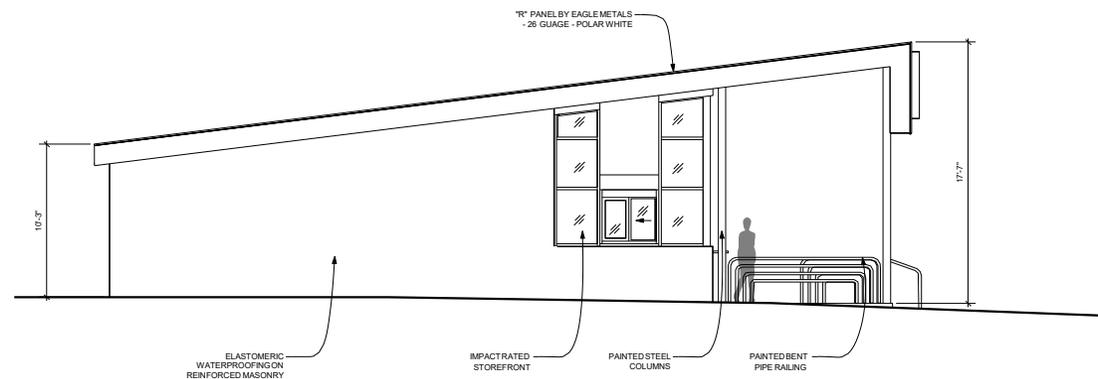
5 STREETScape ELEVATION-KING STREET
 SCALE: 1/8" = 1'-0"



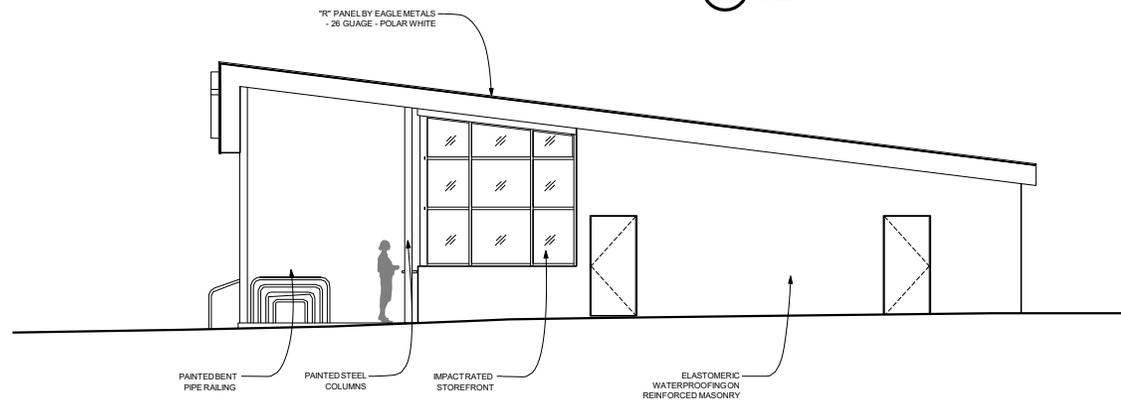
4 WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

NOT FOR CONSTRUCTION



ISSUED DATE / REVISIONS
 BAR SUBMITTAL 12.19.2019

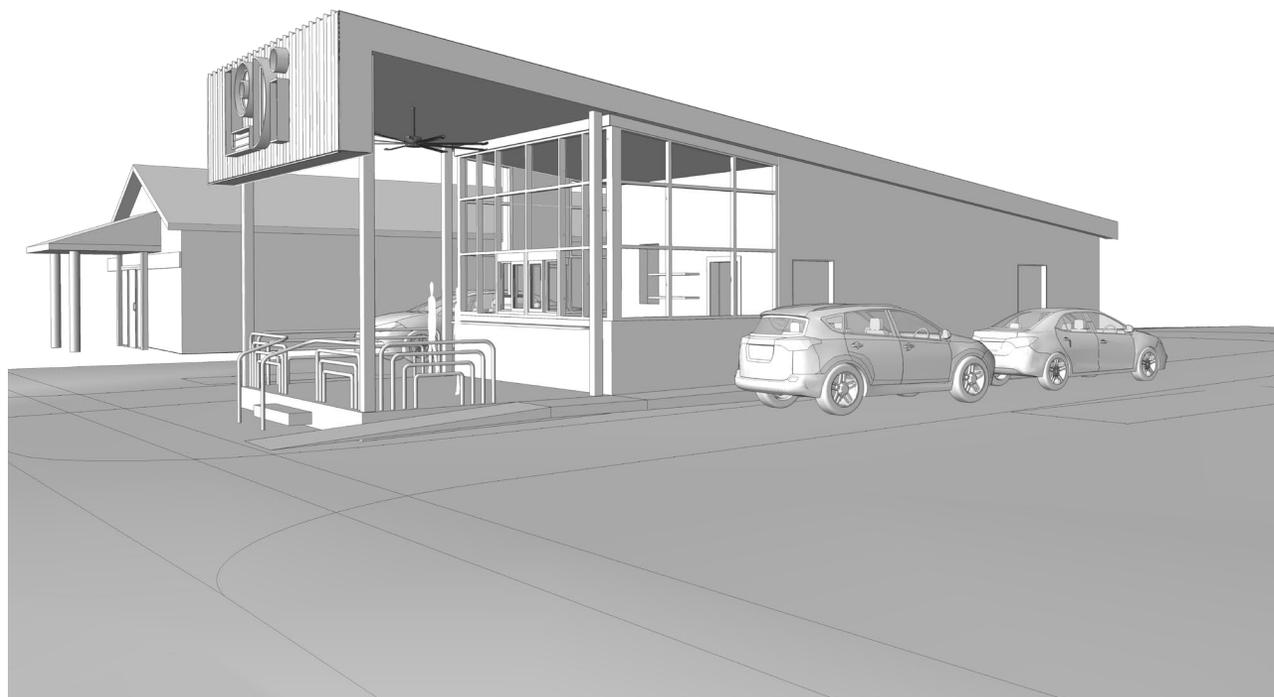
LODI COFFEE
 735 King Street
 Charleston, SC 29403





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NOT FOR CONSTRUCTION



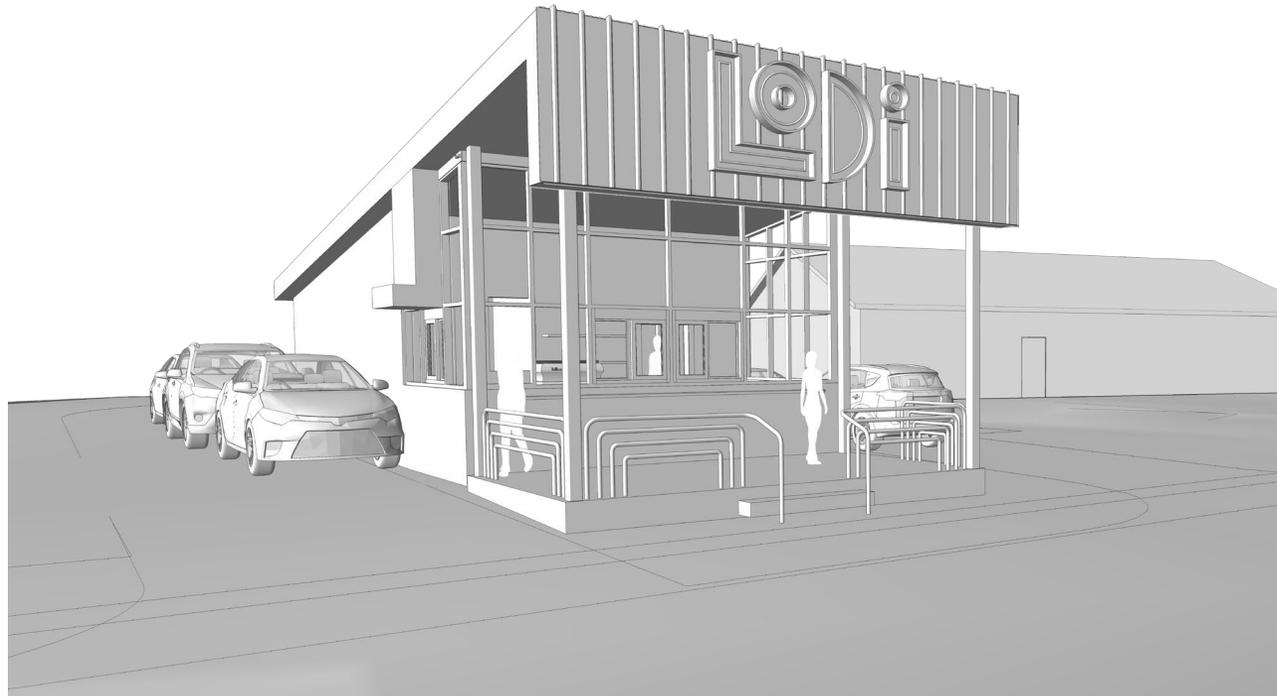
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LODI COFFEE
735 King Street
Charleston, SC 29403



VIEW LOOKING SOUTH ON KING STREET





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ISSUED DATE / REVISIONS
 BAR SUBMITTAL 12.19.2019

LODI COFFEE
 735 King Street
 Charleston, SC 29403

1
 A203 VIEW LOOKING WEST

A203



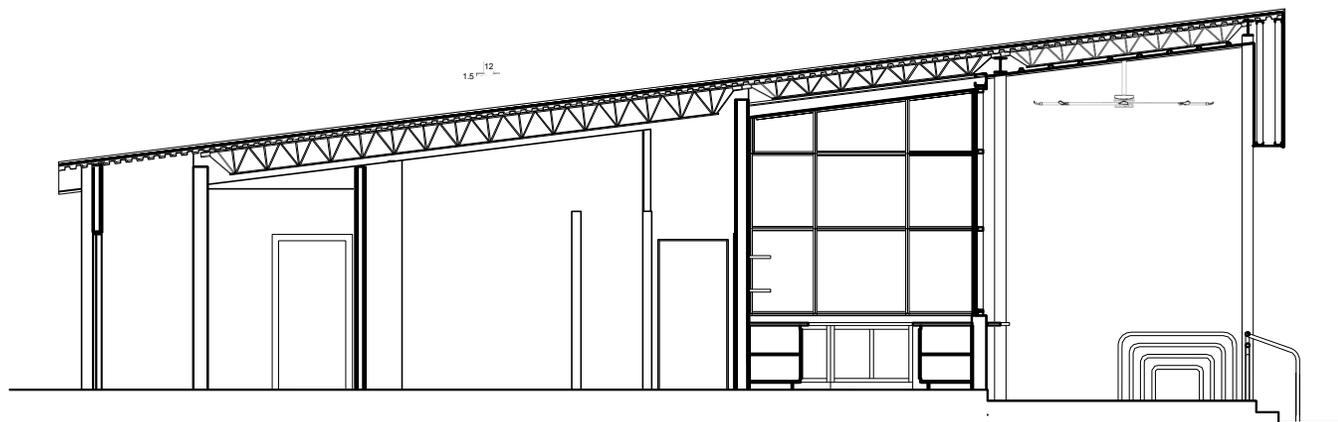
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LODI COFFEE
735 King Street
Charleston, SC 29403

LONGITUDINAL SECTION
SCALE: 3/8" = 1'-0"

A301

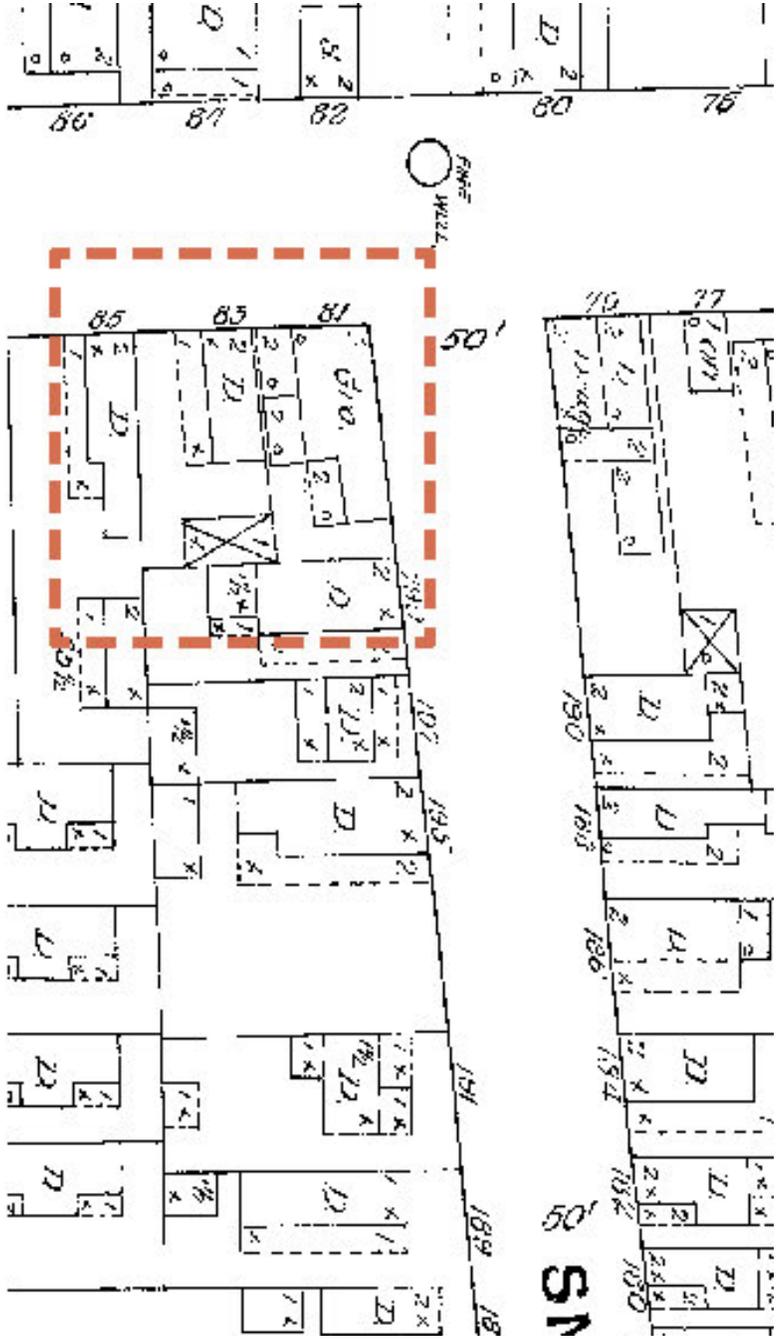
Agenda Item #9

81-83 CANNON STREET
TMS # 460-15-02-017

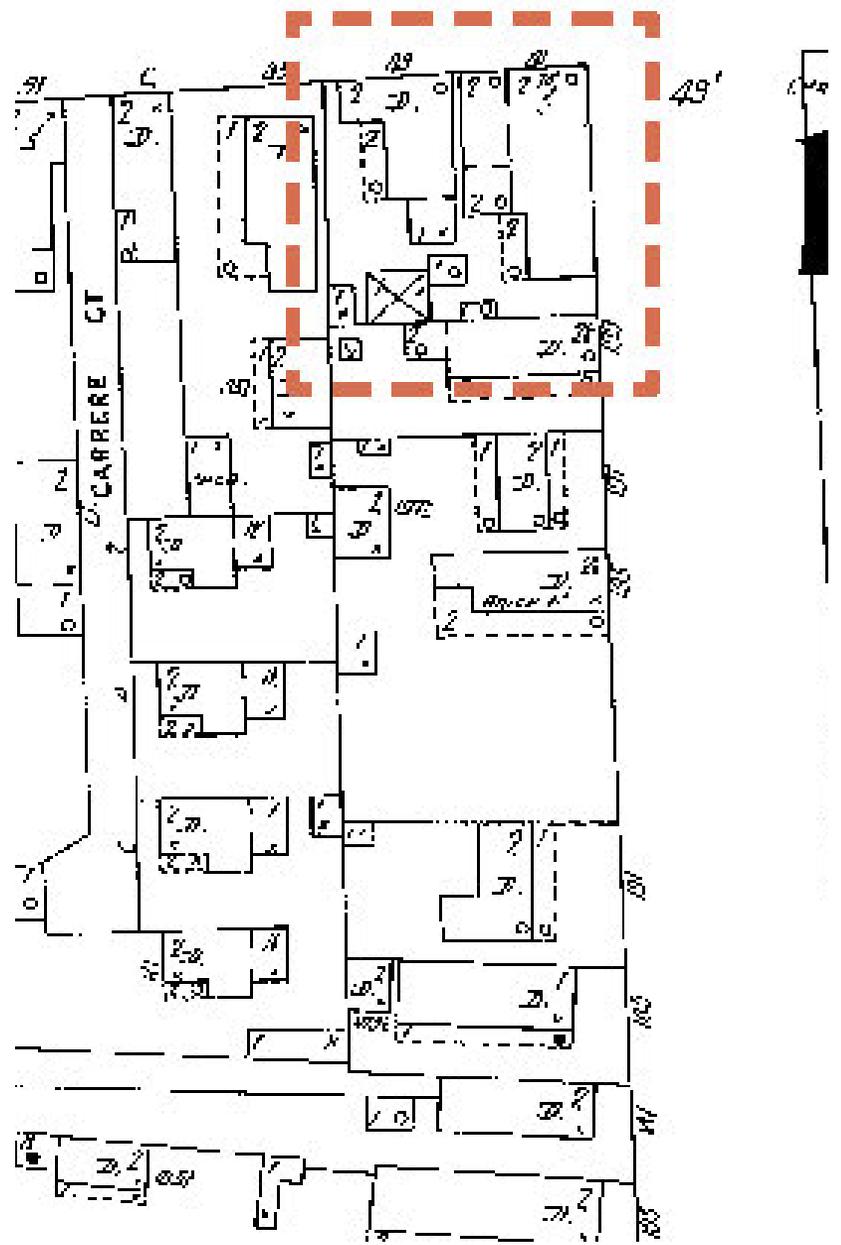
Request preliminary approval for the renovation of the buildings including the reestablishment of a single house façade, and the replacement of the storefront system.

Category 4 / (Cannonborough | Elliottborough) / c.pre-1872 / Old City District

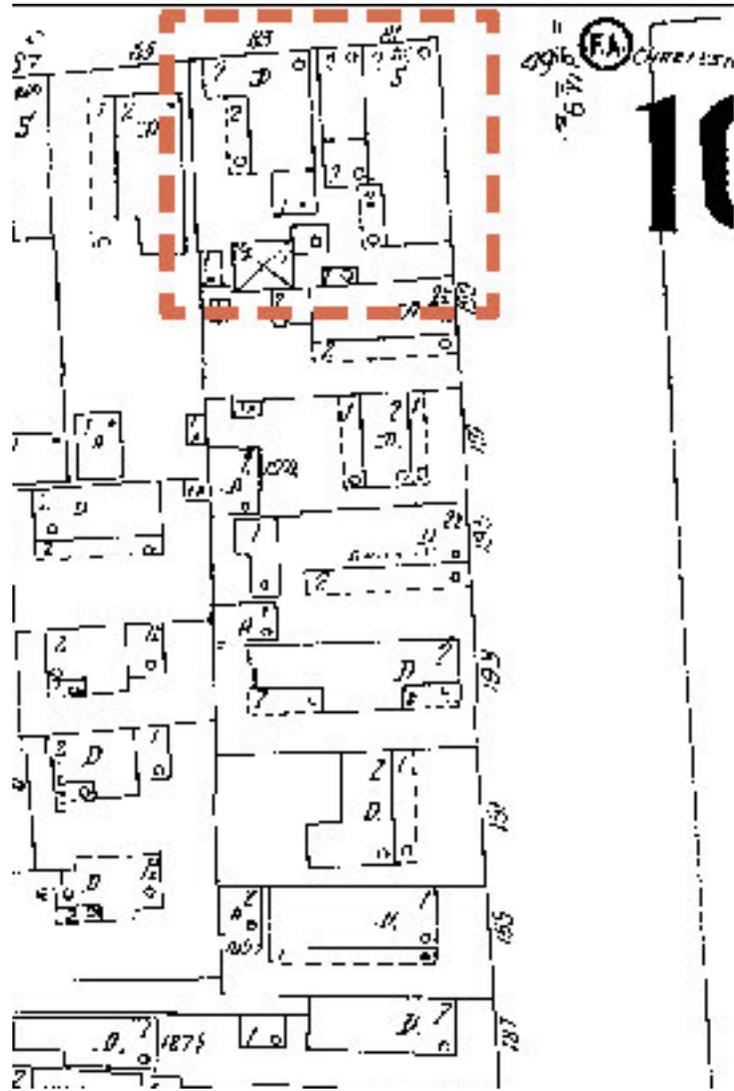




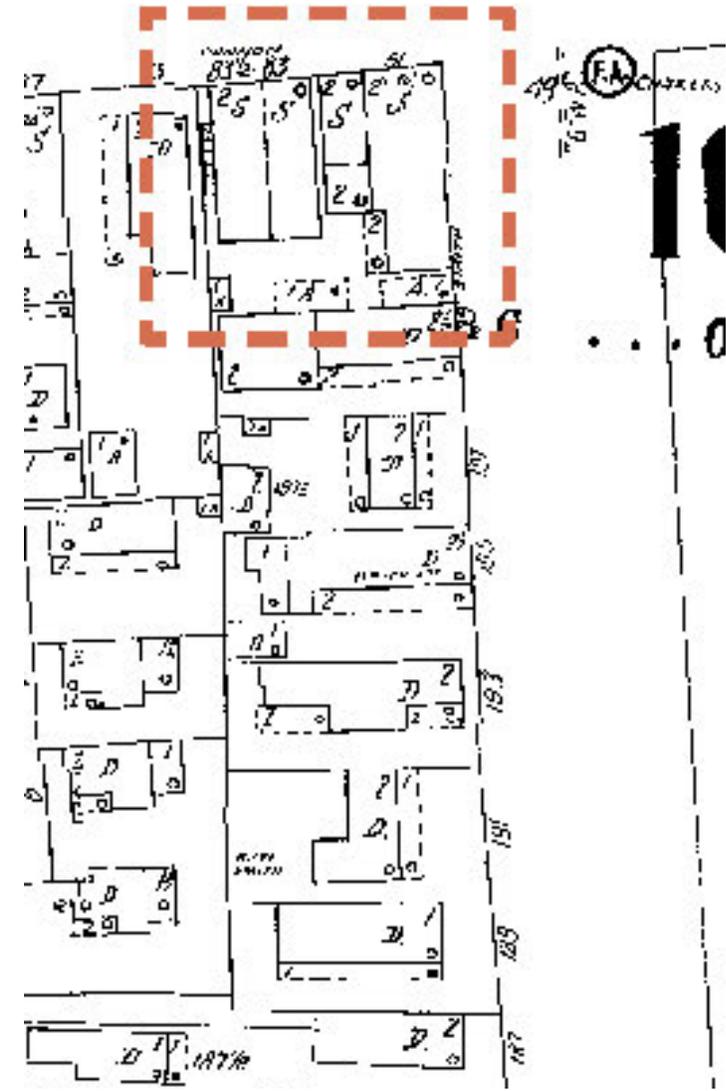
1888 Sanborn



1902 Sanborn



1944 Sanborn



1951 Sanborn

ΚΩΣΤΑΝΤΙΝΟΣ
ΠΑΝΤΟΠΩΛΕΙΟΝ
CONSTAN GROCERIES
DEC. 12 1931.





1985



2012









NO
TRESPASSING

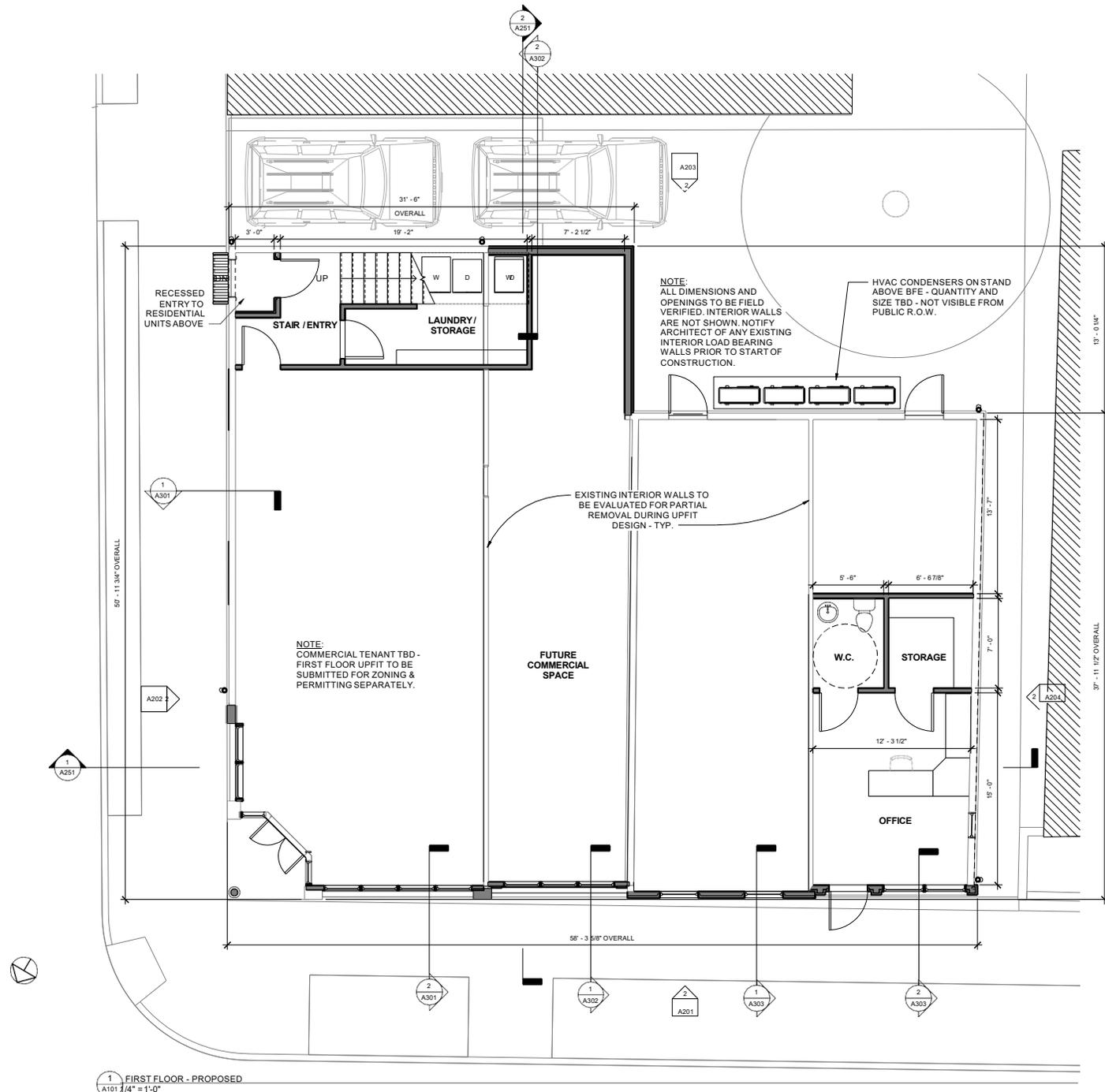


945









1 FIRST FLOOR - PROPOSED
A101 1/4" = 1'-0"

REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

LFA Architecture
PO Box 31225
Charleston SC 29417
843.901.8485
www.lfa-architecture.com

PROJ. NO: 1906
DRAWN BY: LFA
ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

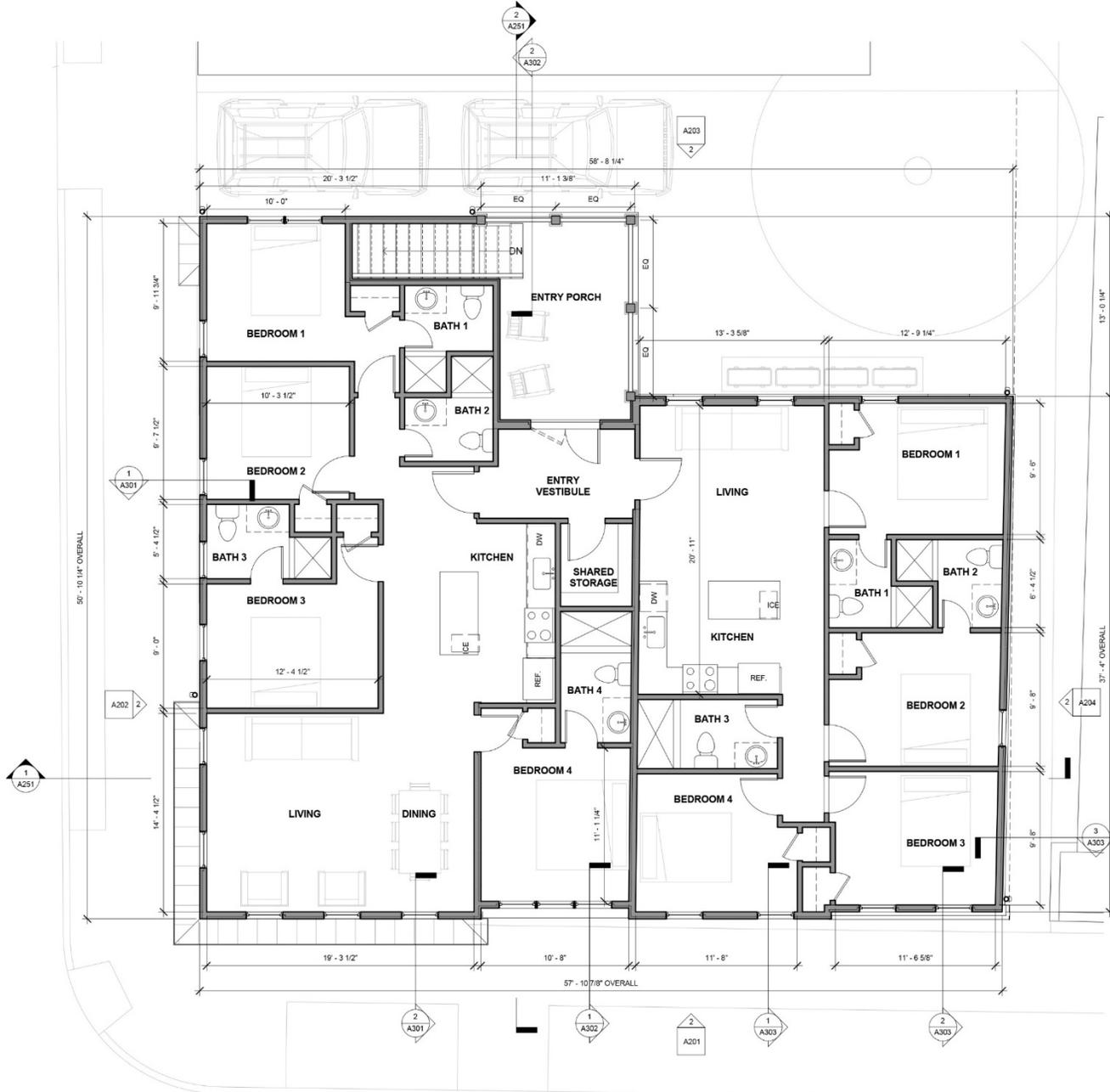
FIRST FLOOR PLAN - PROPOSED **A101**



UNIT A (ORANGE)
1228 SF
4 BEDROOMS
4 BATHS

UNIT B (BLUE)
970 SF
4 BEDROOMS
3 BATHS

2 SECOND FLOOR - PROPOSED UNITS
A102 / 1/8" = 1'-0"



1 SECOND FLOOR - PROPOSED
A102 / 1/4" = 1'-0"

REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

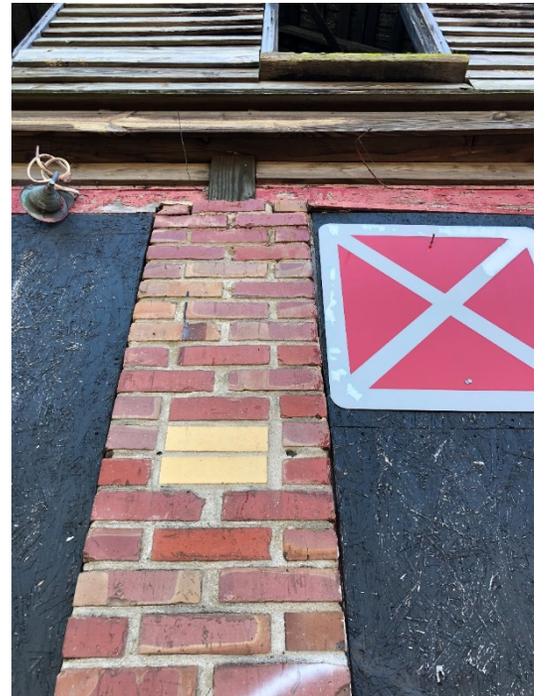
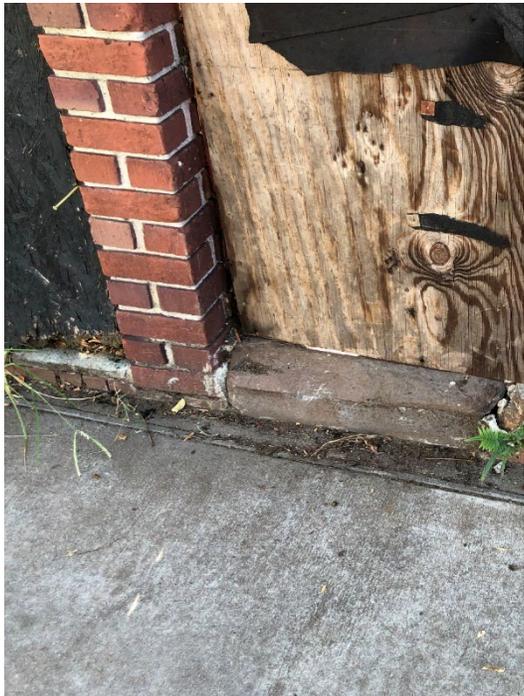
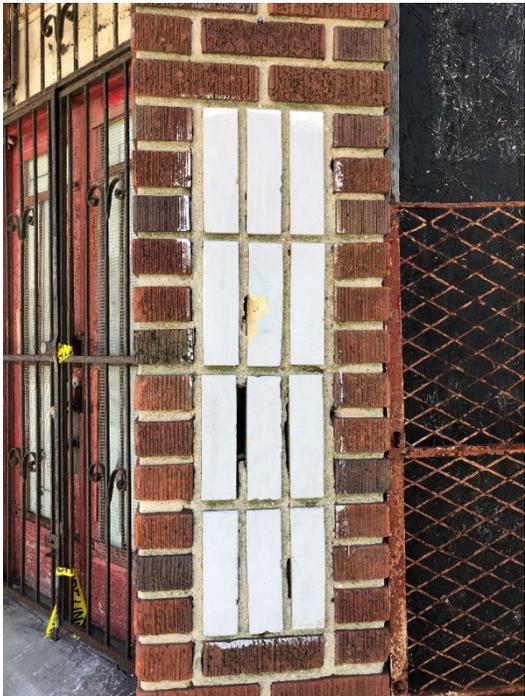
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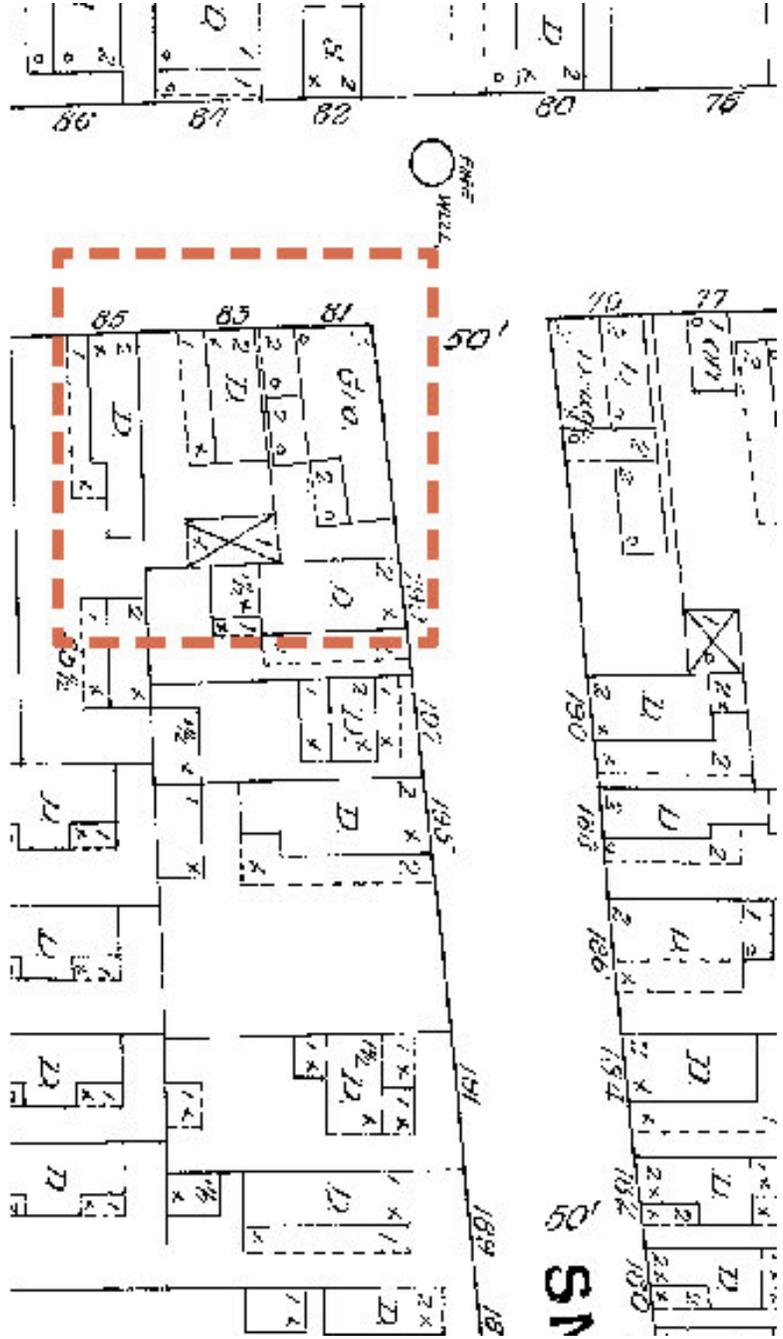
PROJ. NO: 1906
DRAWN BY: LFA
ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

SECOND FLOOR - PROPOSED **A102**









1888 Sanborn





Proposed Cannon Street Elevation



Proposed Smith Street Elevation

SMITH & CANNON

81-83 CANNON STREET
CHARLESTON, SOUTH CAROLINA

PROJECT NOTES

1. GENERAL INFORMATION

ADDRESS: 81-83 CANNON STREET
CHARLESTON SC 29403

TMS: 460-15-02-017

ZONING CLASS.: LB NON-RESIDENTIAL

FLOOD ZONE: AE-13 (2004FIRM)

SITE AREA: 3744 SF (0.09 ACRES)

2. BUILDING SIZE

EXISTING FIRST FLOOR: 2470 SF
EXISTING SECOND FLOOR: 2163 SF
TOTAL EXISTING: 4633 SF

PROPOSED SECOND FLOOR RES. UNIT A: 1950 SF
PROPOSED FIRST FLOOR OFFICE: 278 SF
PROPOSED FIRST FLOOR RESIDENTIAL: 181 SF
TOTAL PROPOSED FIRST FLOOR: 2409 SF

PROPOSED SECOND FLOOR RES. UNIT A: 1228 SF
PROPOSED SECOND FLOOR RES. UNIT B: 970 SF
PROPOSED SECOND FLOOR RES. SHARED: 107 SF
TOTAL PROPOSED SECOND FLOOR: 2305 SF

TOTAL PROPOSED HEATED/COOLED: 4714 SF
*MEASURED TO INTERIOR FACE OF WALLS

PROPOSED UNHEATED FIRST FLOOR: 18 SF
PROPOSED PORCHES SECOND FLOOR: 145 SF

EXISTING LOT COVERAGE: 2682 SF (72%)
*MEASURED TO EXTERIOR FACE OF WALLS INCLUDING FIRE ESCAPE STAIR.

PROPOSED LOT COVERAGE: 2632 SF (70%)

3. TOPOGRAPHICAL INFORMATION TAKEN FROM SURVEY DATED OCTOBER 8, 2019, BY KNIGHT SURVEYING & MAPPING LLC, PO BOX 13885, CHARLESTON SC 29422, 843.789.0850.

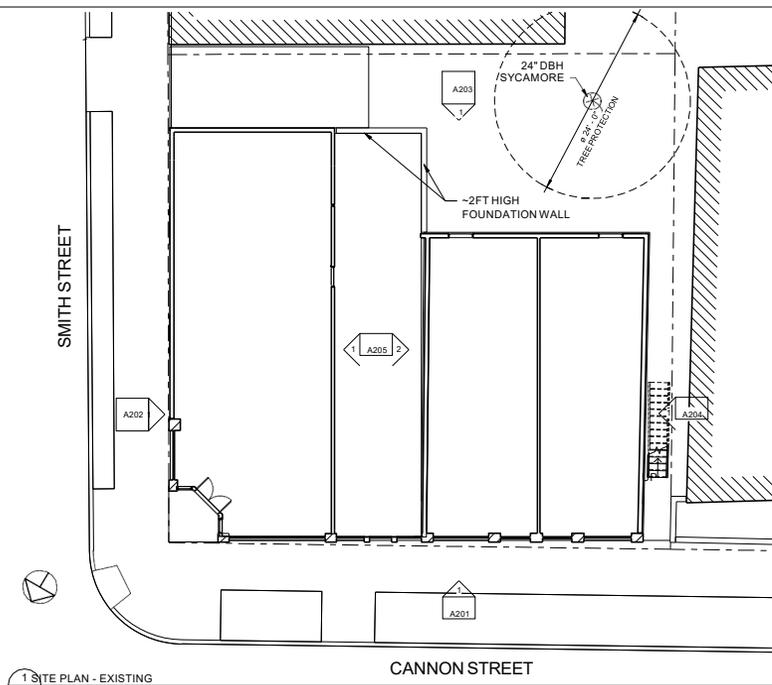
4. SETBACKS (BASED ON THE CITY OF CHARLESTON ORDINANCE FOR LB NON-RESIDENTIAL):

FRONT/STREET SETBACK: NR
SOUTH / WEST SIDE SETBACK: NR
NORTH / EAST SIDE SETBACK: NR
TOTAL SIDE SETBACKS: NR
REAR SETBACK: NR
MAX HEIGHT: 55 FT
MAX BLDG COVERAGE: NA
MIN. LOT SIZE PER FAMILY: 3000 SF

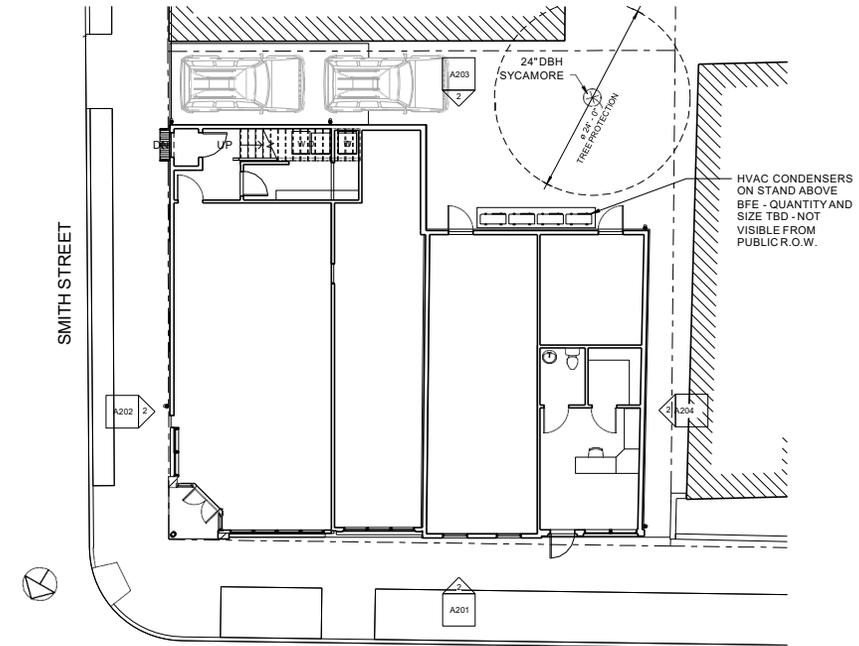
5. CODE: INTERNATIONAL RESIDENTIAL CODE 2015

SITE NOTES

- TREE PROTECTION REQUIREMENTS OF THE CITY OF CHARLESTON ZONING ORDINANCE SEC. 54-330 SHALL BE FOLLOWED.
 - PROTECTIVE BARRICADES SHALL BE PLACED AROUND ALL PROTECTED TREES AND GRAND TREES PRIOR TO THE START OF CONSTRUCTION. THIS AREA SHALL REMAIN FREE FROM ALL BUILDING MATERIALS, DIRT OR OTHER CONSTRUCTION DEBRIS, VEHICLES, AND DEVELOPMENT ACTIVITIES.
 - FOR PROTECTED TREES 23" OR LESS DBH: BARRICADES SHALL BE PLACED A MIN. DISTANCE OF 10 FEET FROM THE BASE OF EACH PROTECTED TREE.
 - FOR PROTECTED TREES GREATER THAN 23" DBH AND GRAND TREES: BARRICADES SHALL PROVIDE A DIAMETER OF PROTECTION AROUND THE TREE EQUAL IN FEET TO THE DIAMETER AT BREAST HEIGHT OF THE TREE (I.E. A 24" DIAMETER TREE WILL REQUIRE A 24-FOOT DIAMETER PROTECTIVE BARRICADE).
- NEW GRADING SHALL NOT DIRECT ANY DRAINAGE TO A NEIGHBOR'S PROPERTY.



1 SITE PLAN - EXISTING
A001 1/8" = 1'-0"



2 SITE PLAN - PROPOSED
A001 1/8" = 1'-0"

OWNER
WILLIAM H. ORANGE
LOW COUNTRY MARKETING GROUP LLC
PO BOX 157
MT. PLEASANT SC 29465
843.849.9999

ARCHITECT
LAURA ALTMAN
LFA ARCHITECTURE
PO BOX 31225
CHARLESTON SC 29417
843.901.8485

STRUCTURAL ENGINEER
TBD

CONTRACTOR
MARK REGALBUTO
RENEW URBAN CHARLESTON
525 KING STREET
CHARLESTON SC 29403
843.345.6168

DRAWING LIST

NO.	DRAWING NAME
A001	PROJECT INFO & SITE PLAN
D101	FIRST FLOOR - EXISTING & DEMO
D102	SECOND FLOOR - EXISTING & DEMO
A101	FIRST FLOOR PLAN - PROPOSED
A102	SECOND FLOOR - PROPOSED
A103	ROOF PLAN - PROPOSED
A200	EXTERIOR PERSPECTIVES
A201	ELEVATIONS - CANNON STREET
A202	ELEVATIONS - SMITH STREET
A203	ELEVATIONS - SOUTH (REAR)
A204	ELEVATIONS - WEST
A205	ELEVATION / SECTION
A251	BUILDING SECTIONS - PROPOSED
A301	WALL SECTIONS - 81 CANNON
A302	WALL SECTIONS - HYPHEN
A303	WALL SECTIONS - 83 CANNON

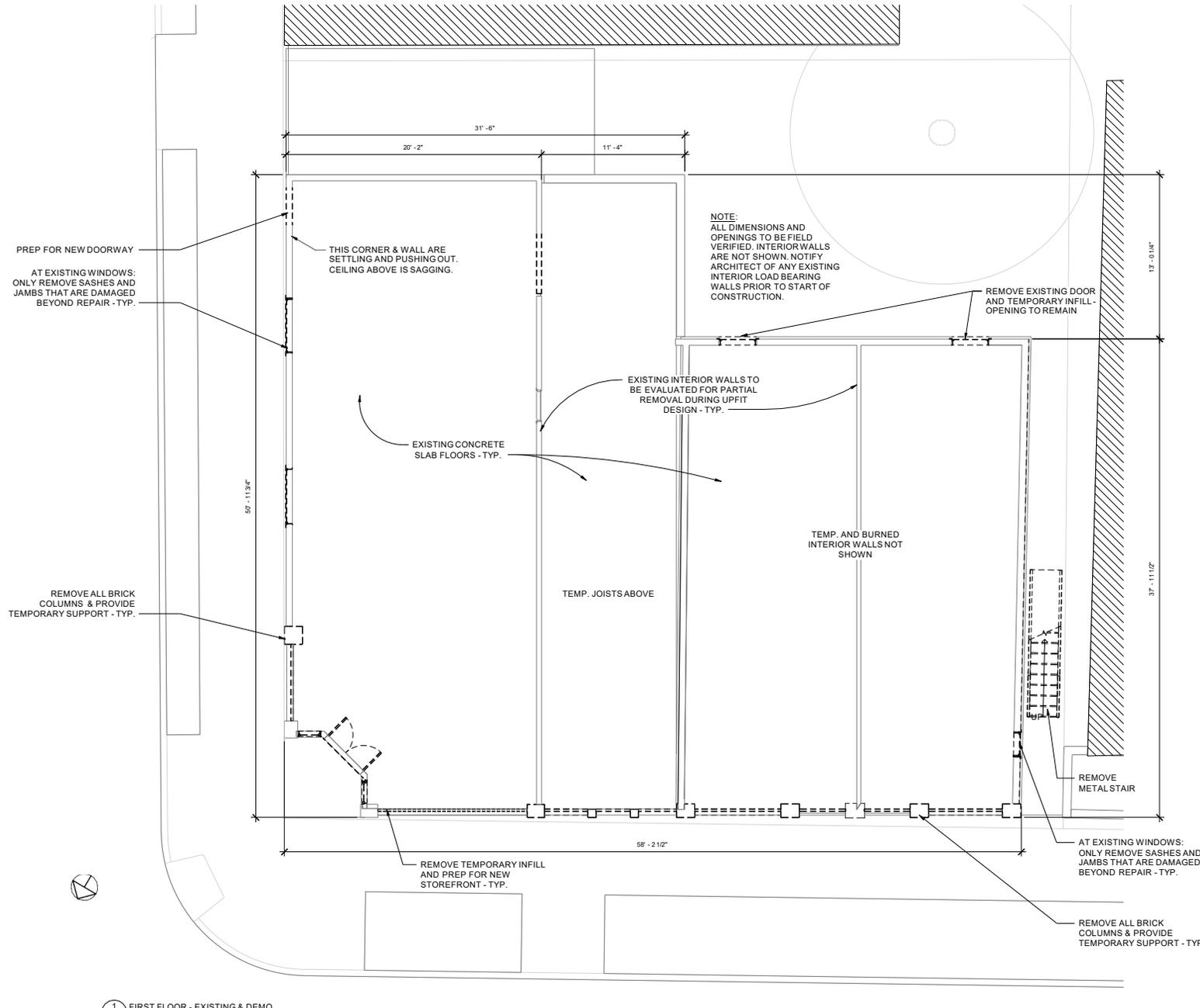
REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

LFA Architecture
P.O. Box 31225
Charleston SC 29417
843.901.8485
www.lfa-architecture.com

PROJ. NO: 1906
DRAWN BY: LFA
ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

PROJECT INFO & SITE PLAN **A001**



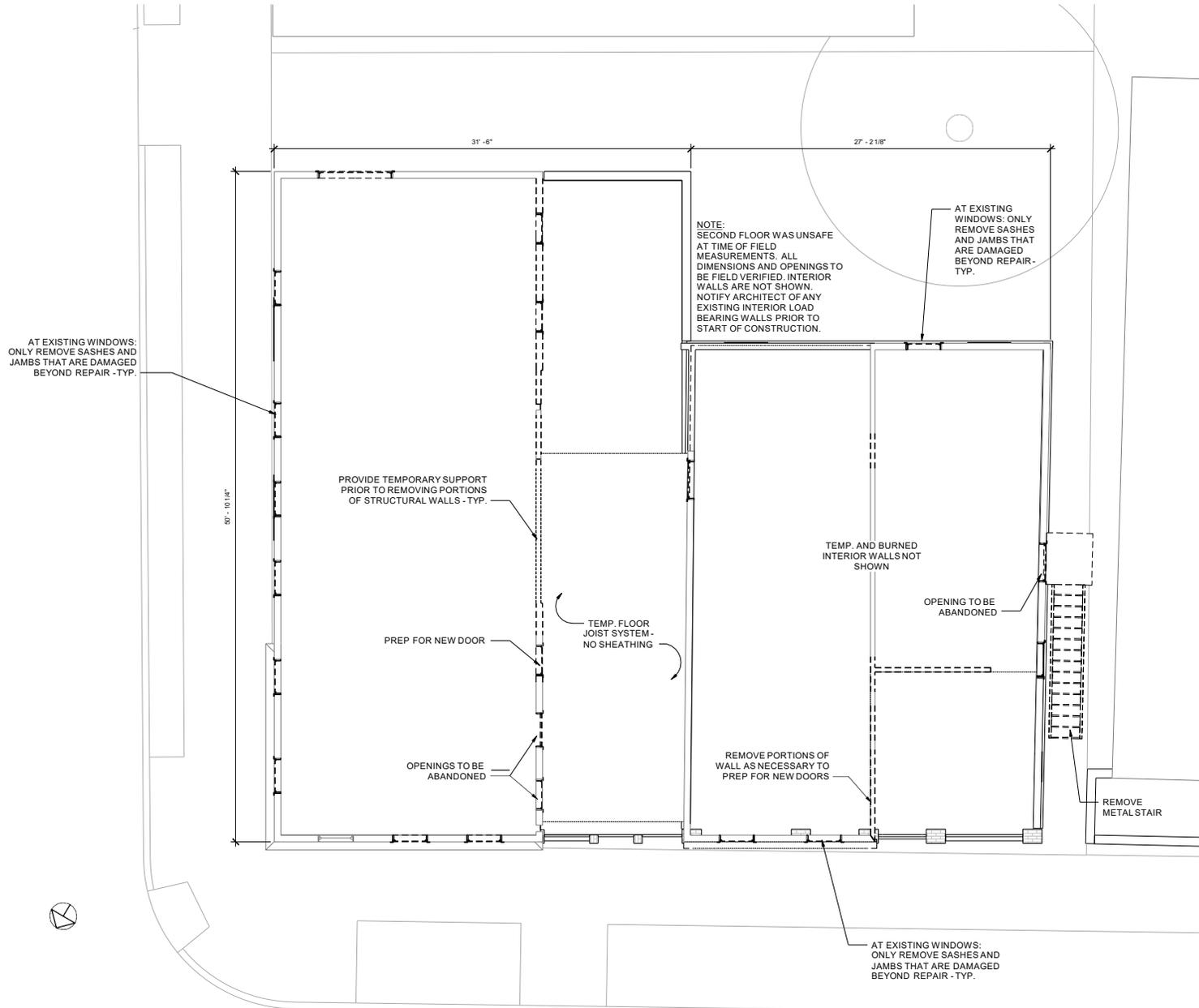
1 FIRST FLOOR - EXISTING & DEMO
D101 1/4" = 1'-0"

REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

LFA LFA Architecture
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 Charleston SC 29417
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ISSUE DATE: JAN. 10, 2019
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1 SECOND FLOOR - EXISTING & DEMO
D102 1/4" = 1'-0"

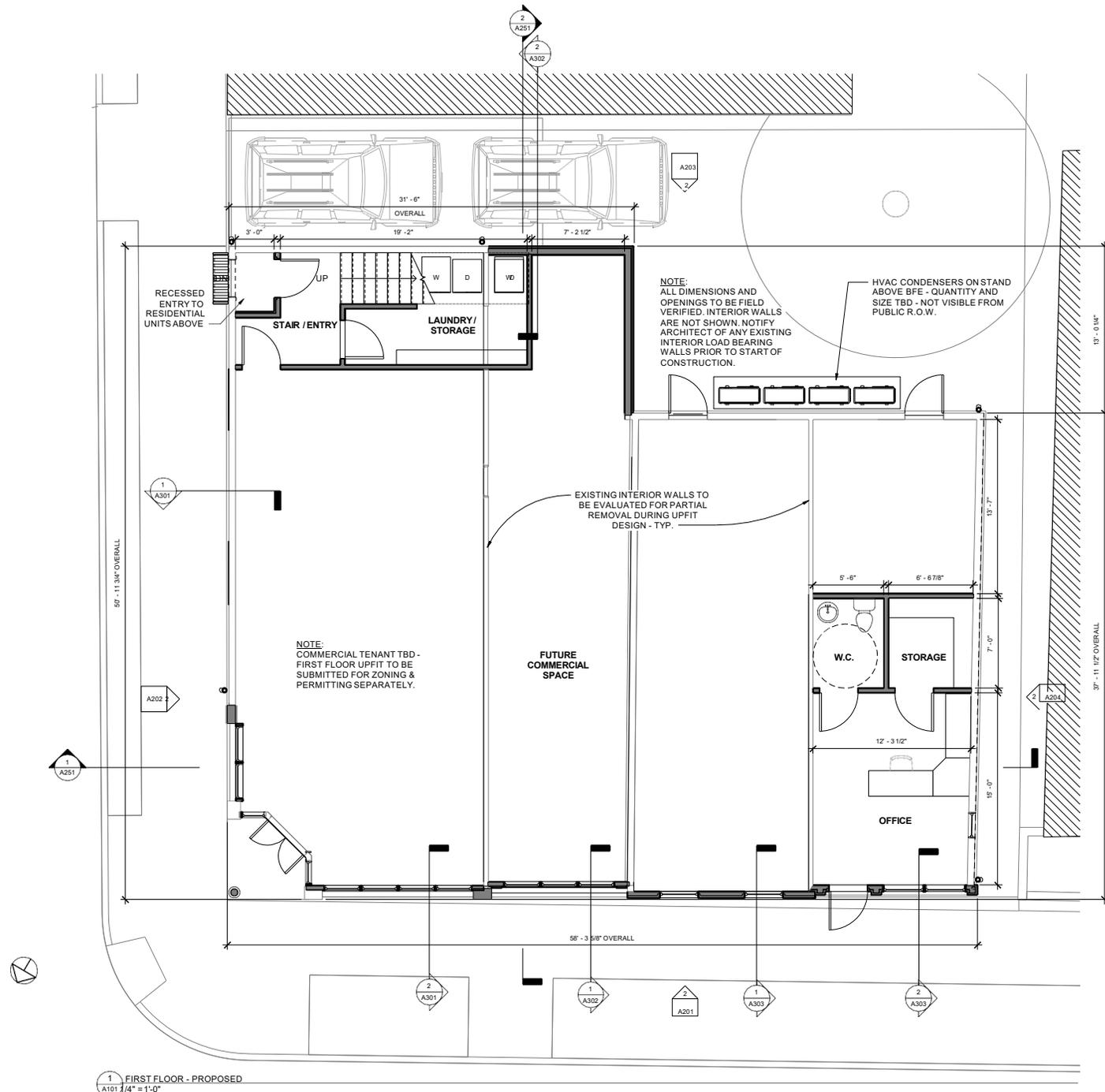
REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

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PROJ. NO: 1906
DRAWN BY: LFA
ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

SECOND FLOOR - EXISTING & DEMO D102



1 FIRST FLOOR - PROPOSED
A101 1/4" = 1'-0"

NOTE:
ALL DIMENSIONS AND
OPENINGS TO BE FIELD
VERIFIED. INTERIOR WALLS
ARE NOT SHOWN. NOTIFY
ARCHITECT OF ANY EXISTING
INTERIOR LOAD BEARING
WALLS PRIOR TO START OF
CONSTRUCTION.

HVAC CONDENSERS ON STAND
ABOVE BFE - QUANTITY AND
SIZE TBD - NOT VISIBLE FROM
PUBLIC R.O.W.

EXISTING INTERIOR WALLS TO
BE EVALUATED FOR PARTIAL
REMOVAL DURING UPFIT
DESIGN - TYP.

NOTE:
COMMERCIAL TENANT TBD -
FIRST FLOOR UPFIT TO BE
SUBMITTED FOR ZONING &
PERMITTING SEPARATELY.

REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

LFA Architecture
PO Box 31225
Charleston SC 29417
843.901.8485
www.lfa-architecture.com

PROJ. NO: 1906
DRAWN BY: LFA
ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

FIRST FLOOR PLAN -
PROPOSED

A101

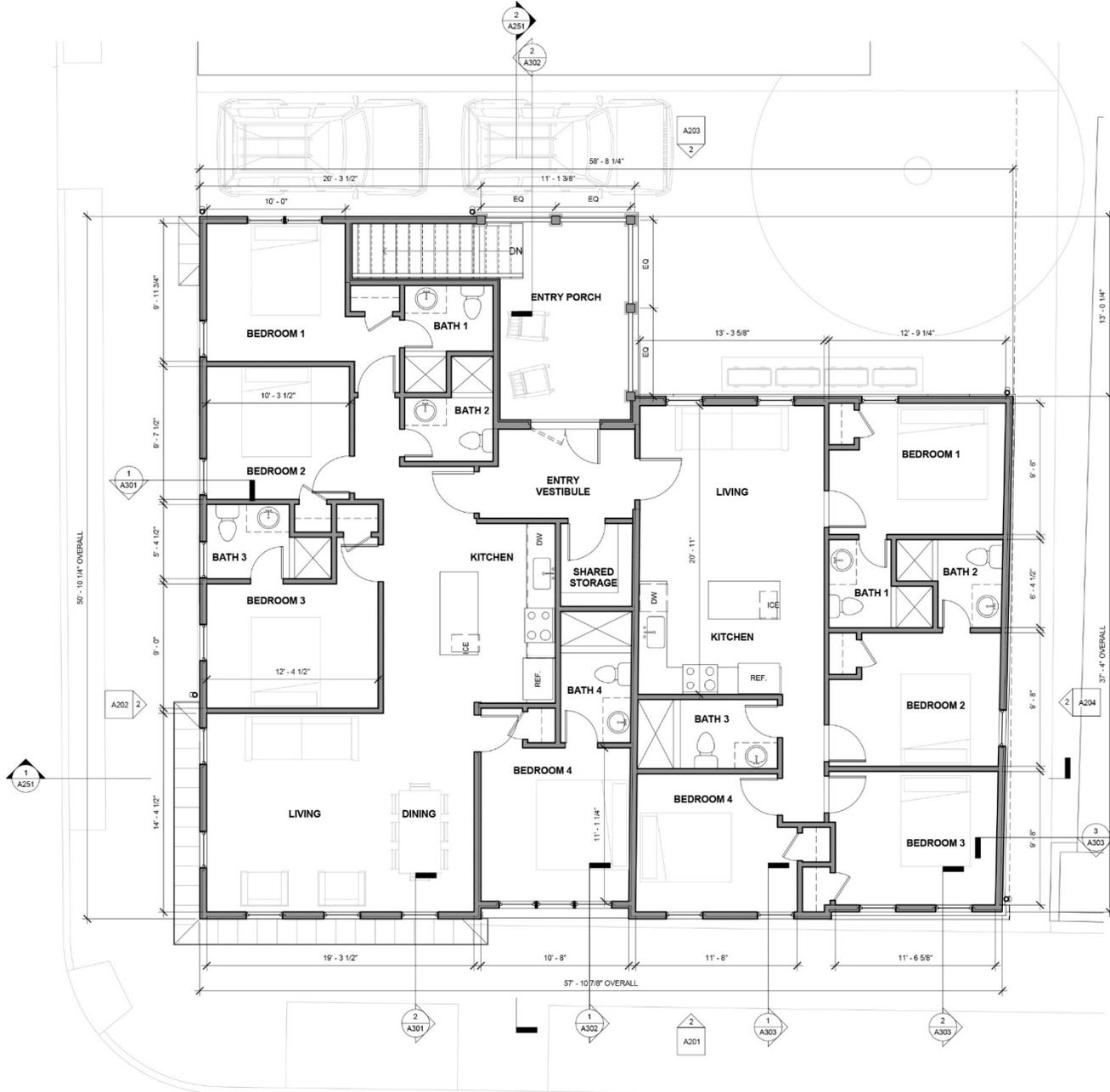
1/10/2020 4:33:26 PM C:\Users\Laura Altman\Dropbox\LFA\projects\1906_Orange_81 83 Cannon\1906_Drawings\1906_Smith Cannon_RENOVATION_BAR.rvt



UNIT A (ORANGE)
1228 SF
4 BEDROOMS
4 BATHS

UNIT B (BLUE)
970 SF
4 BEDROOMS
3 BATHS

2 SECOND FLOOR - PROPOSED UNITS
1/8" = 1'-0"



1 SECOND FLOOR - PROPOSED
1/4" = 1'-0"

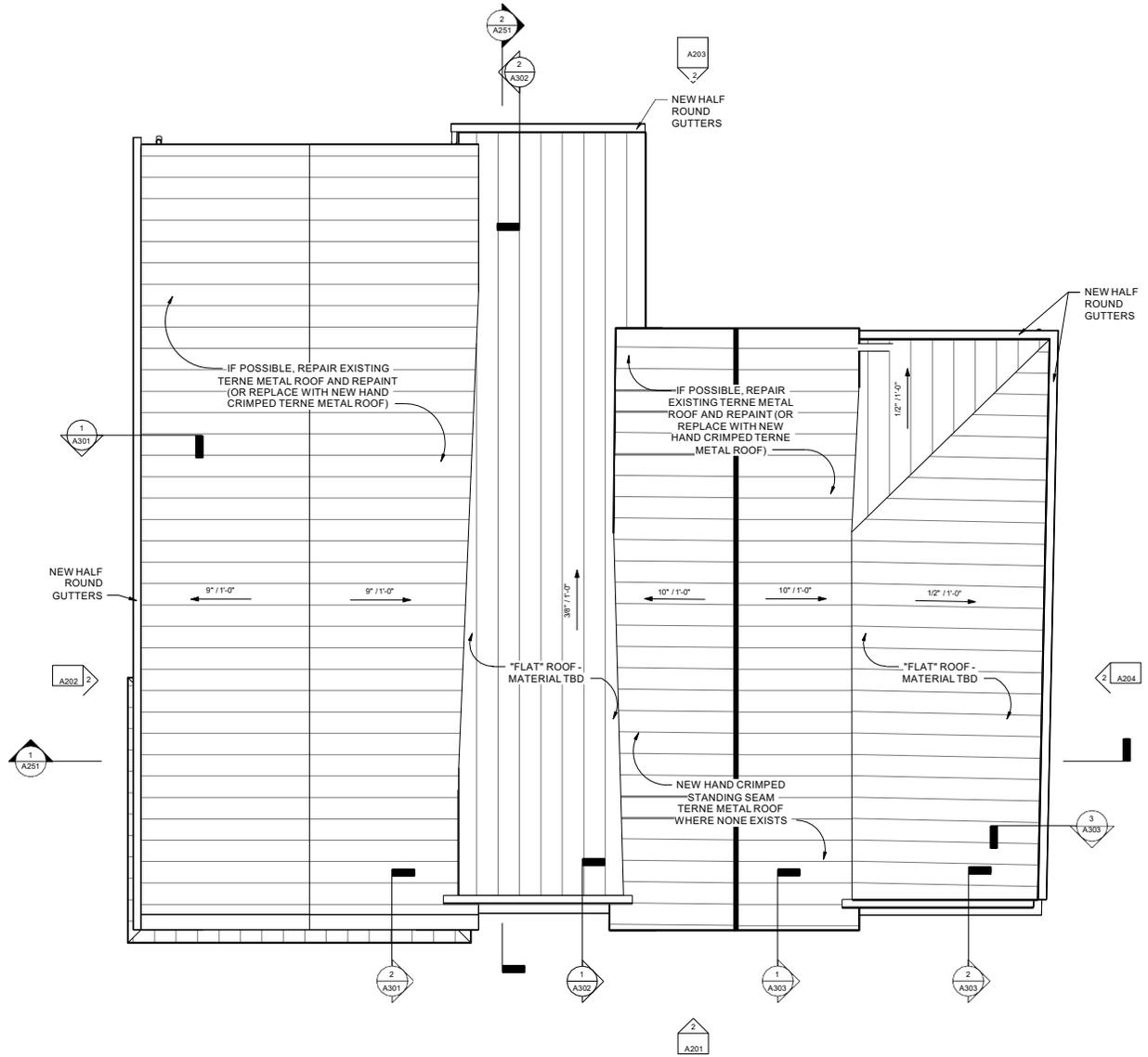
REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

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ISSUE DATE: JAN. 10, 2019
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SECOND FLOOR - PROPOSED **A102**



1 ROOF PLAN - PROPOSED
1/4" = 1'-0"

REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

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Charleston SC 29417
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PROJ. NO: 1906
DRAWN BY: Author
ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020



2 CORNER VIEW - PROPOSED
A200



4 CANNON STREET (VIEW EASTWARD) - PROPOSED
A200

REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

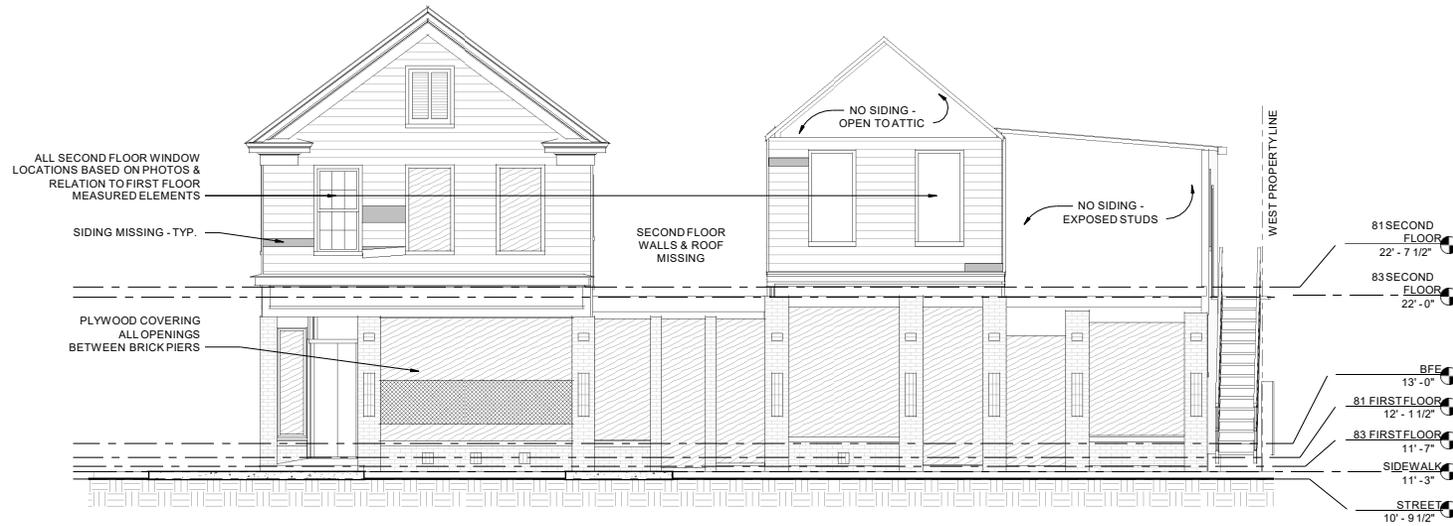
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PROJ. NO: 1906
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ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

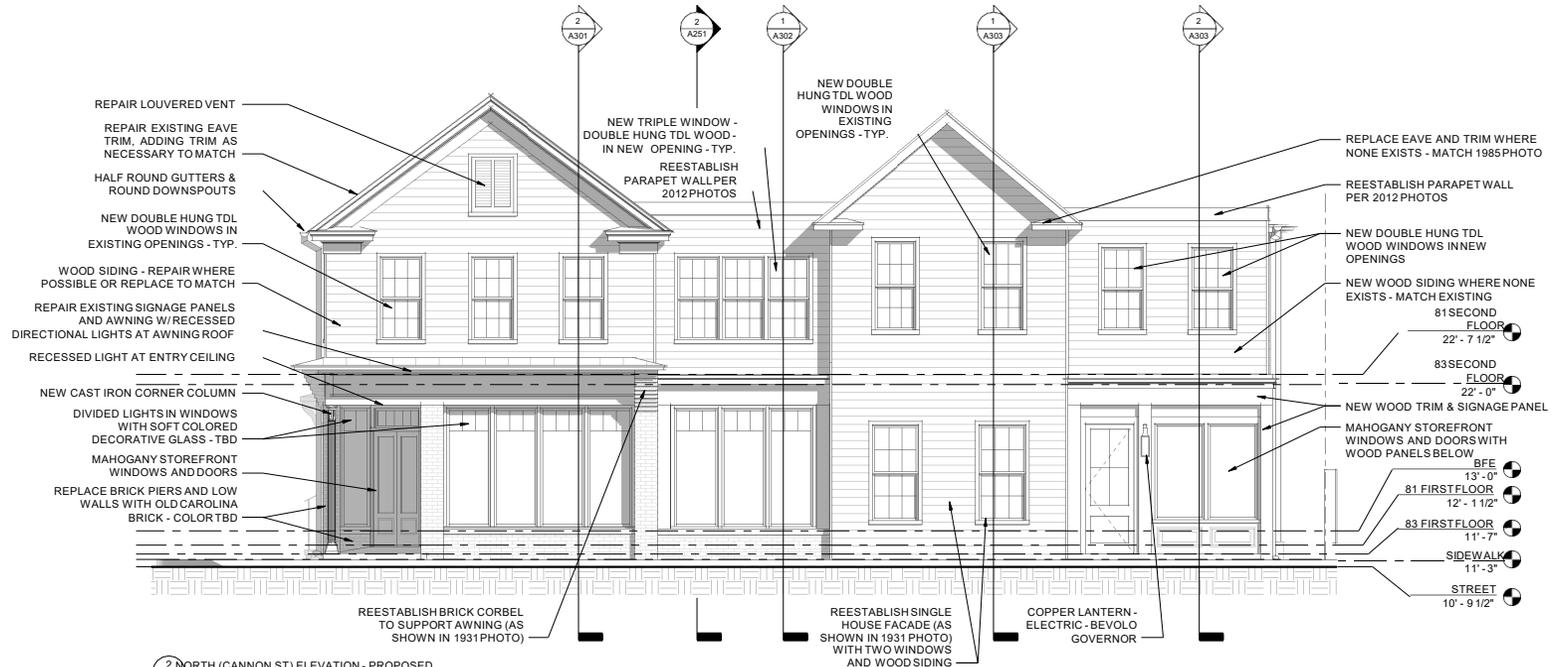
EXTERIOR PERSPECTIVES **A200**

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1 NORTH (CANNON ST) ELEVATION - EXISTING
A201 1/4" = 1'-0"



2 NORTH (CANNON ST) ELEVATION - PROPOSED
A201 1/4" = 1'-0"

REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

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 Charleston SC 29417
 843.901.8485
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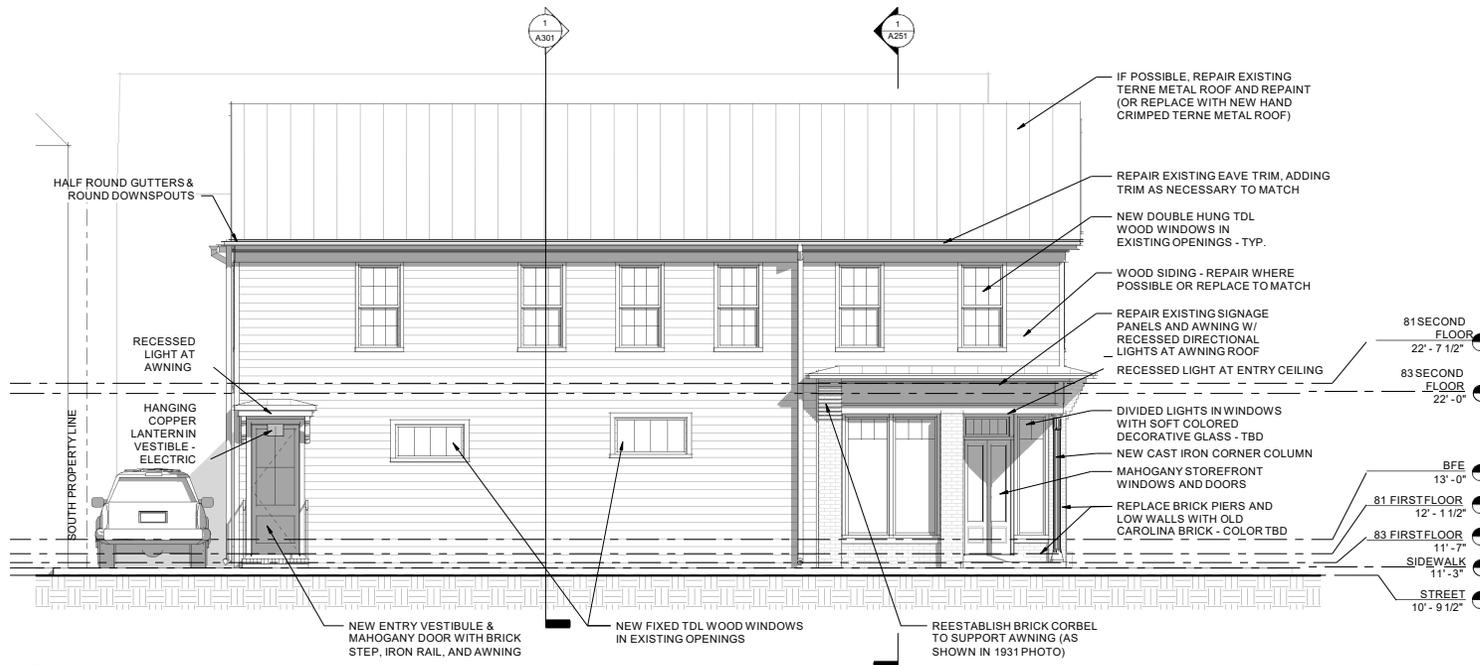
PROJ. NO: 1906
DRAWN BY: LFA
ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

ELEVATIONS - CANNON STREET **A201**

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1 EAST (SMITH ST) ELEVATION - 81 CANNON - EXISTING
A202 1/4" = 1'-0"



2 EAST (SMITH ST) ELEVATION - 81 CANNON - PROPOSED
A202 1/4" = 1'-0"

REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

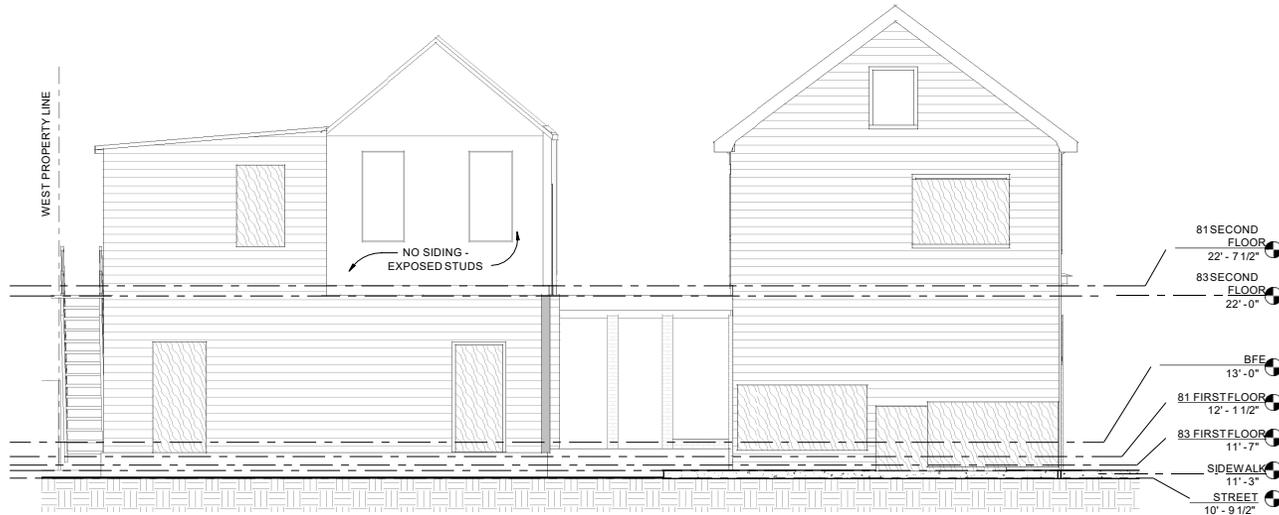
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ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

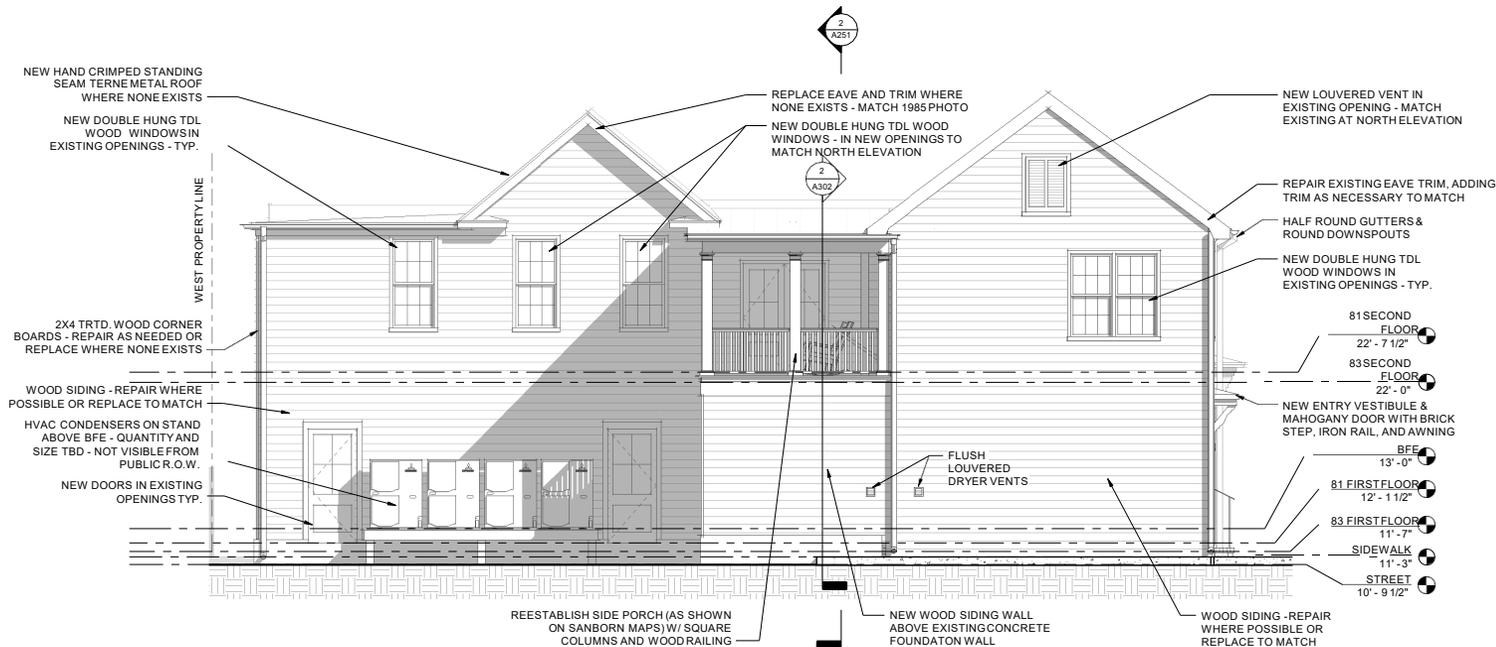
ELEVATIONS - SMITH STREET **A202**

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1 SOUTH (REAR) ELEVATION - EXISTING
A203 / 1/4" = 1'-0"



2 SOUTH (REAR) ELEVATION - PROPOSED
A203 / 1/4" = 1'-0"

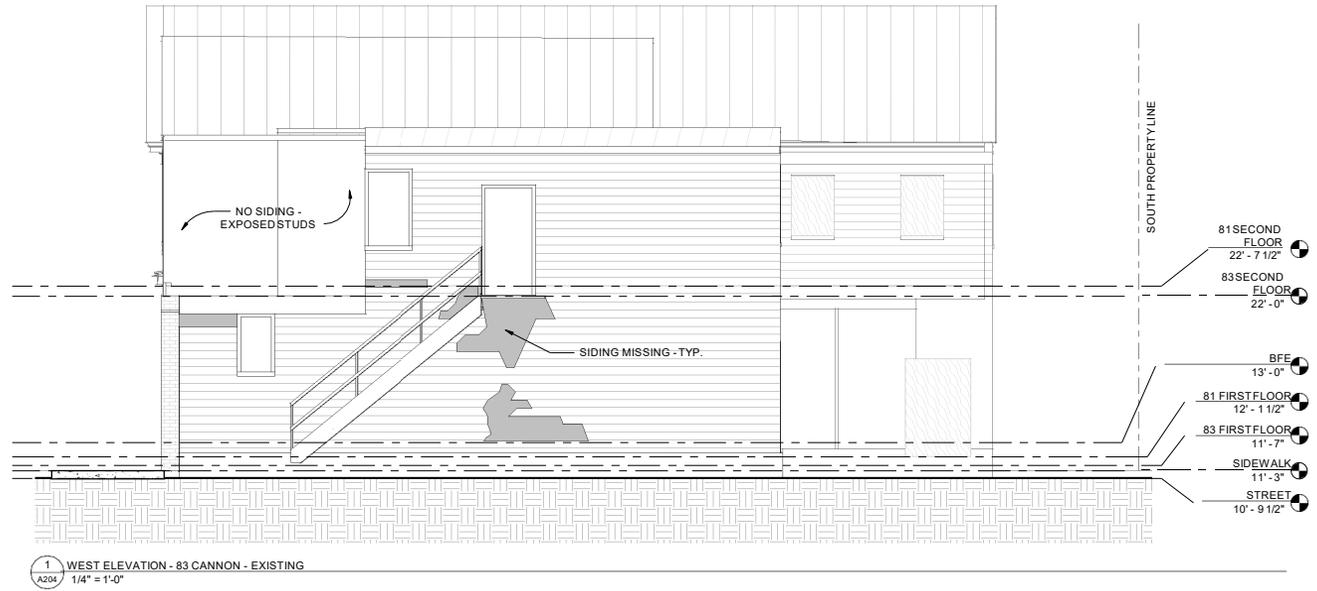
REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

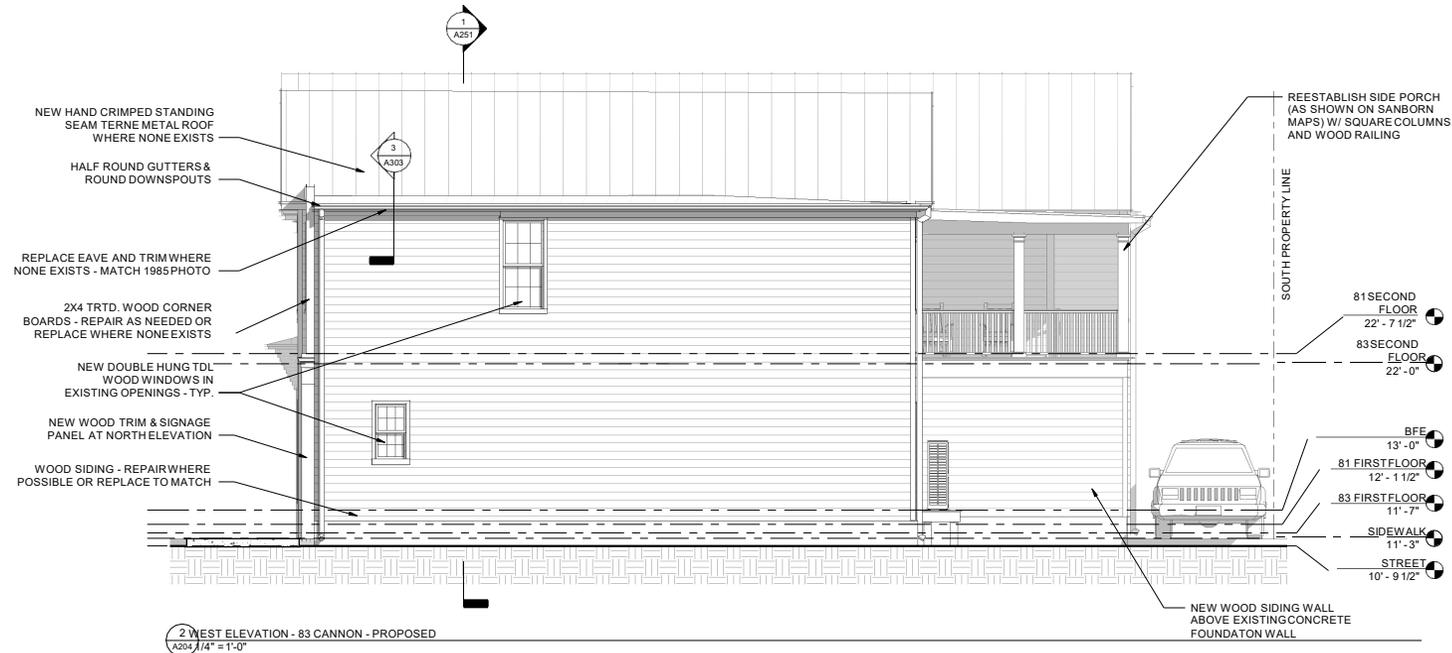
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ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

ELEVATIONS - SOUTH (REAR) **A203**



1 WEST ELEVATION - 83 CANNON - EXISTING
A204 1/4" = 1'-0"



2 WEST ELEVATION - 83 CANNON - PROPOSED
A204 1/4" = 1'-0"

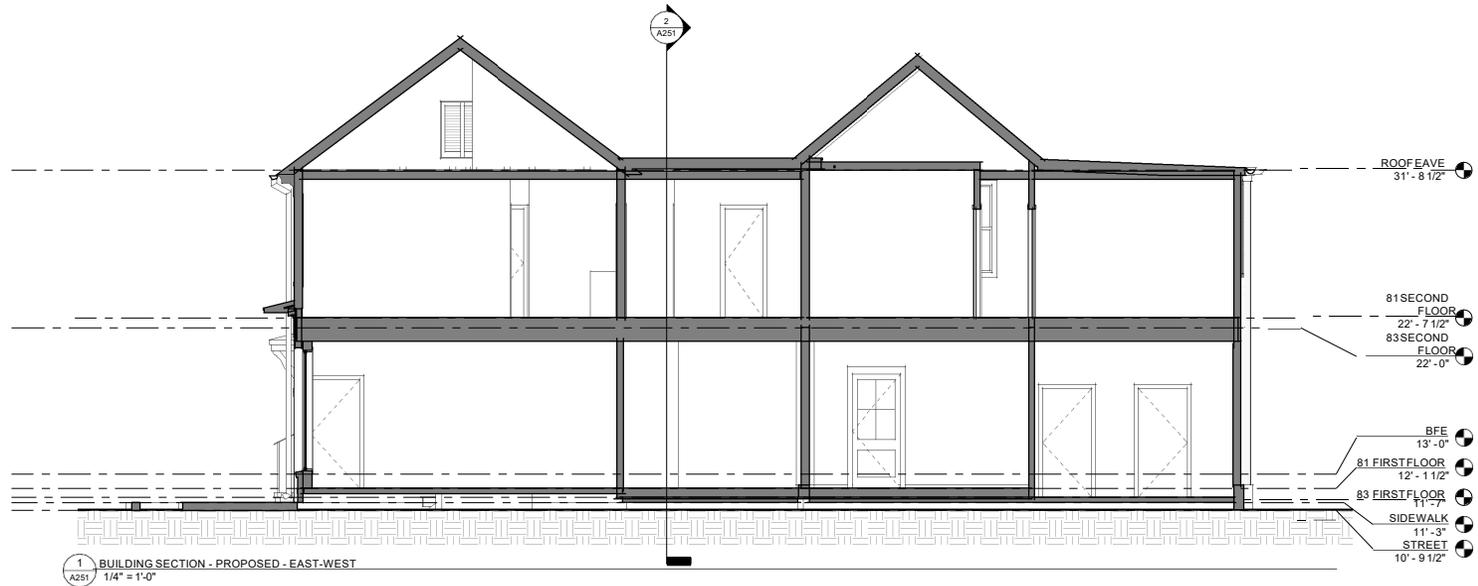
REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

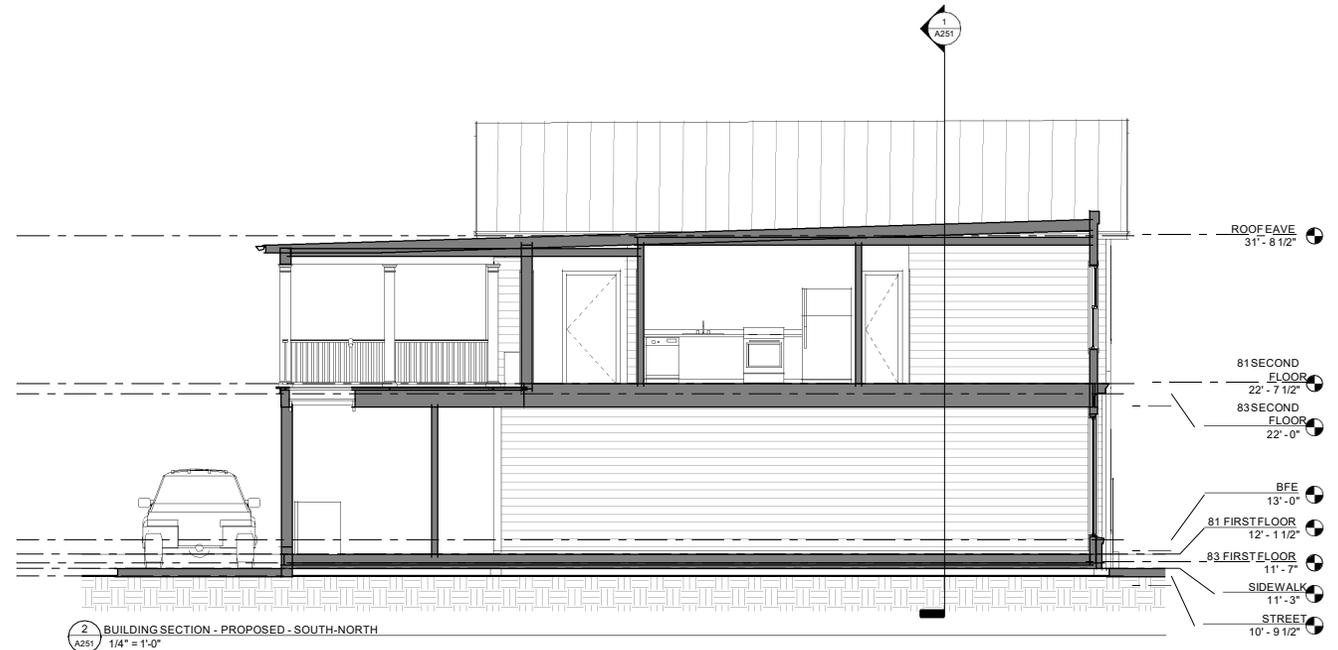
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1 BUILDING SECTION - PROPOSED - EAST-WEST
A251
1/4" = 1'-0"



2 BUILDING SECTION - PROPOSED - SOUTH-NORTH
A251
1/4" = 1'-0"

REVISIONS:

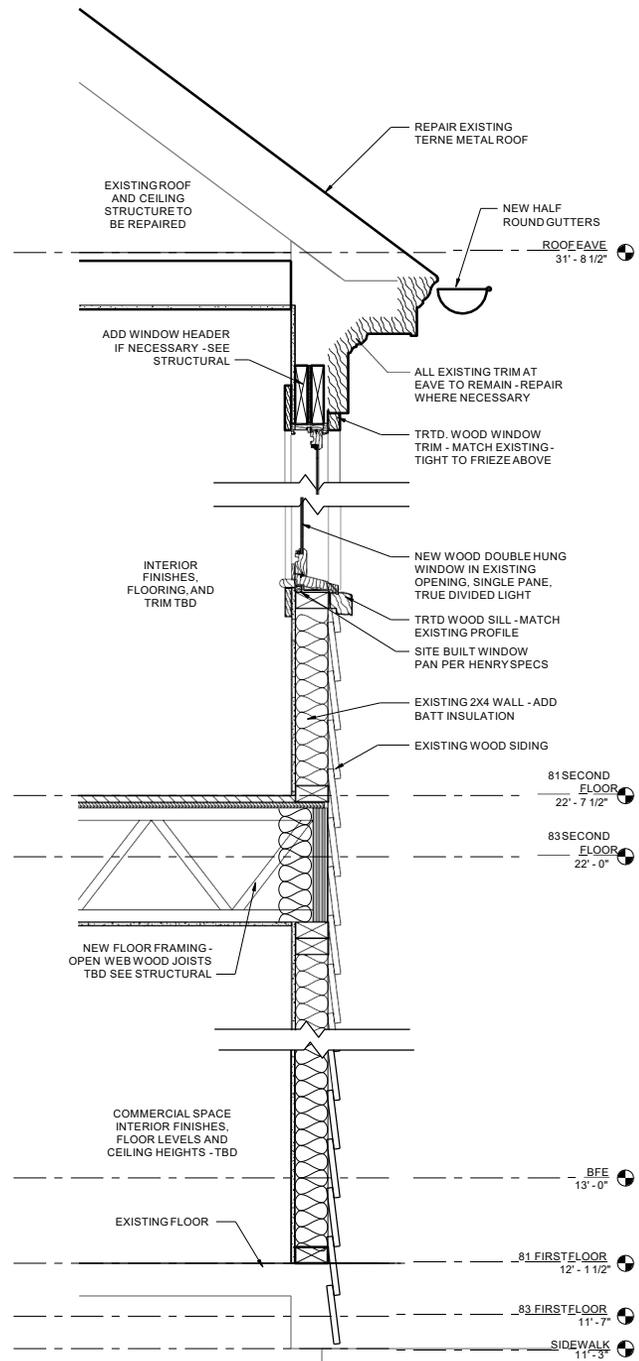
SMITH & CANNON
81-83 CANNON STREET

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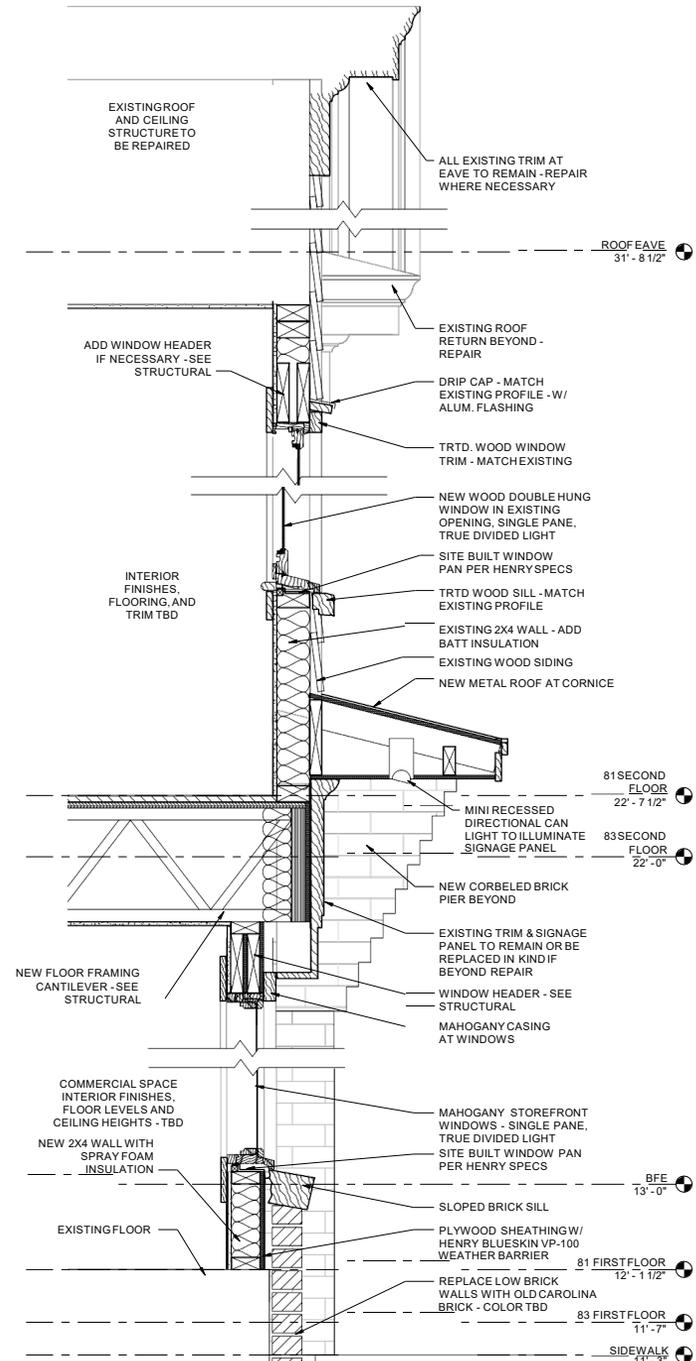
PROJ. NO: 1906
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ISSUE DATE: JAN. 10, 2019
PROJ. STATUS: BAR MTG JAN. 23, 2020

BUILDING SECTIONS - PROPOSED **A251**

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1 WALL SECTION - EAST ELEVATION 81 CANNON
A301 1 1/2" = 1'-0"



2 WALL SECTION - CORNER STOREFRONT
A301 1 1/2" = 1'-0"

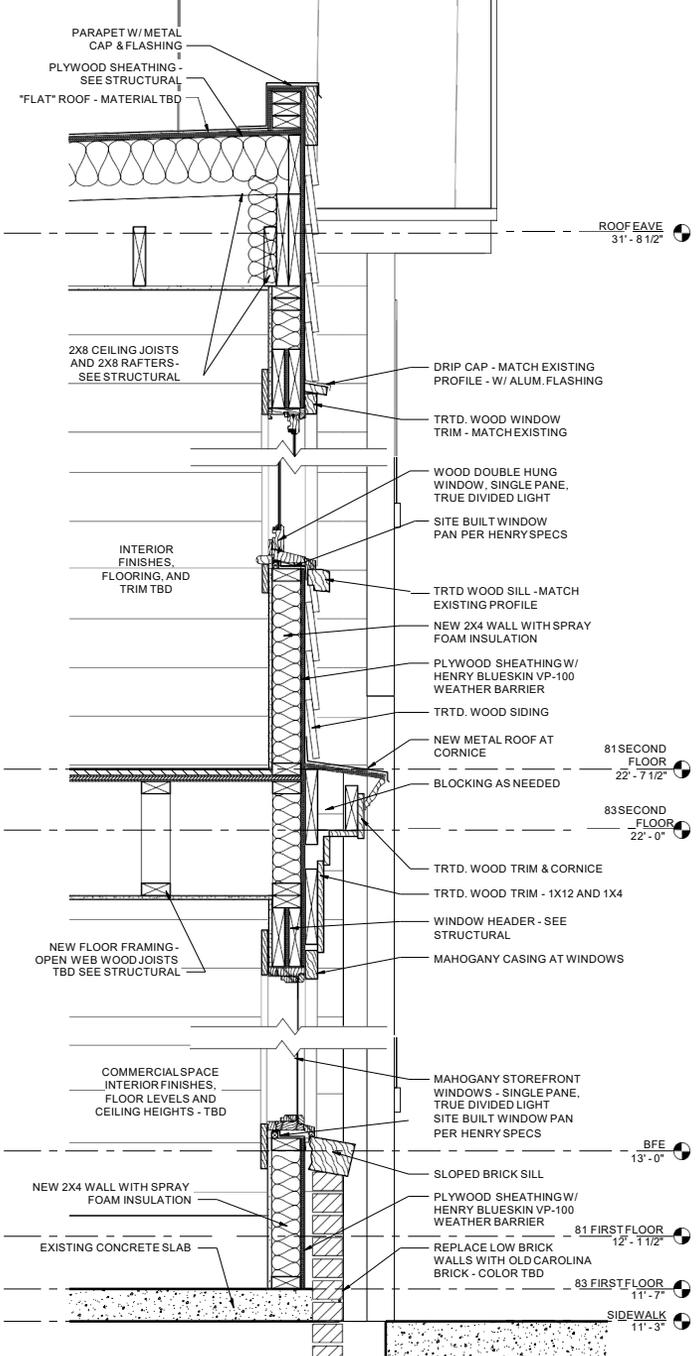
REVISIONS:

SMITH & CANNON
81-83 CANNON STREET

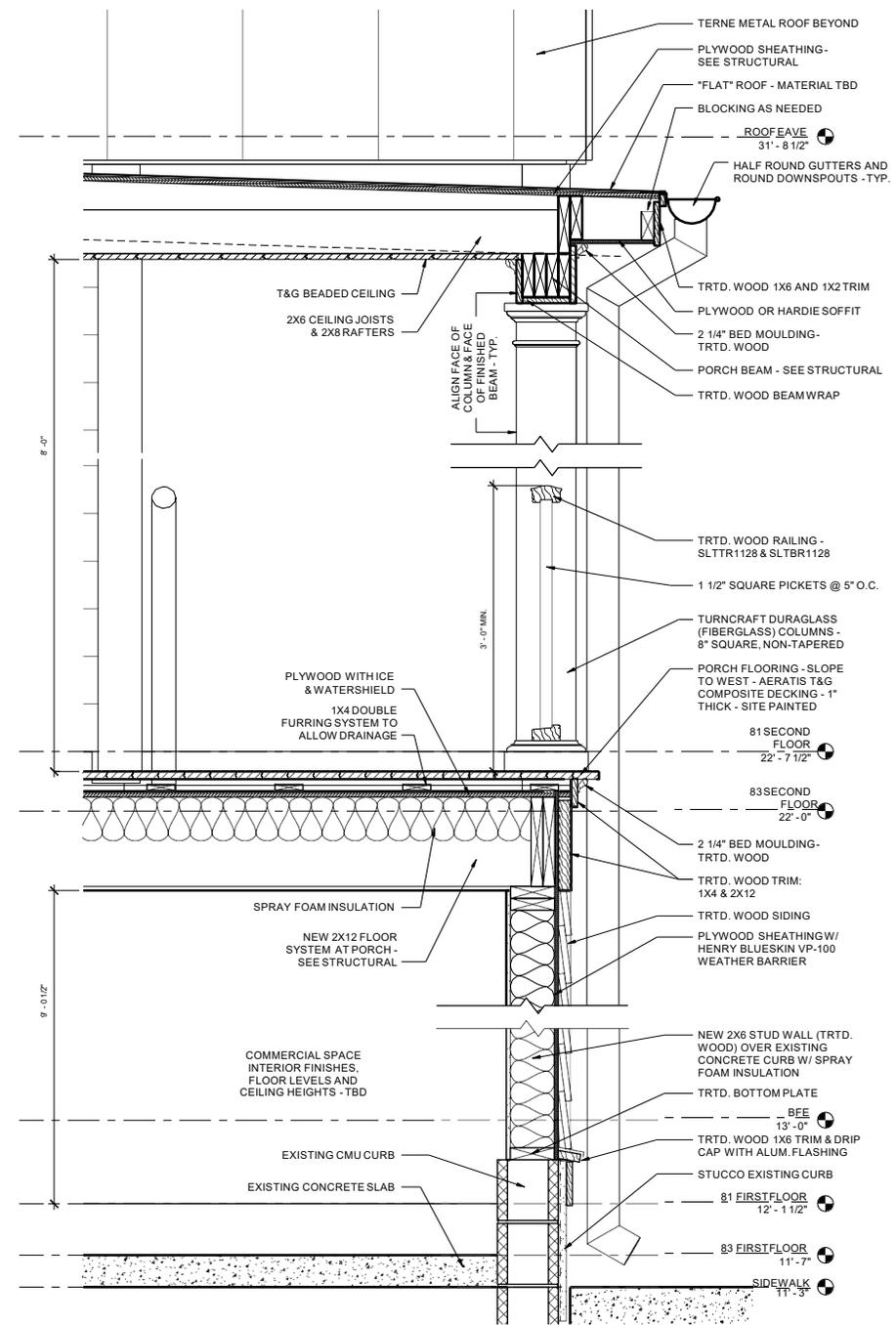
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WALL SECTIONS - 81 CANNON **A301**



1 WALL SECTION - HYPHEN
1 1/2" = 1'-0"



2 WALL SECTION - REAR PORCH
1 1/2" = 1'-0"

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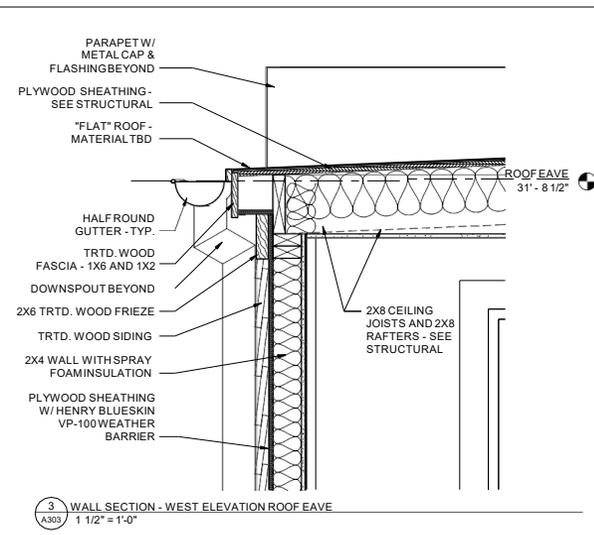
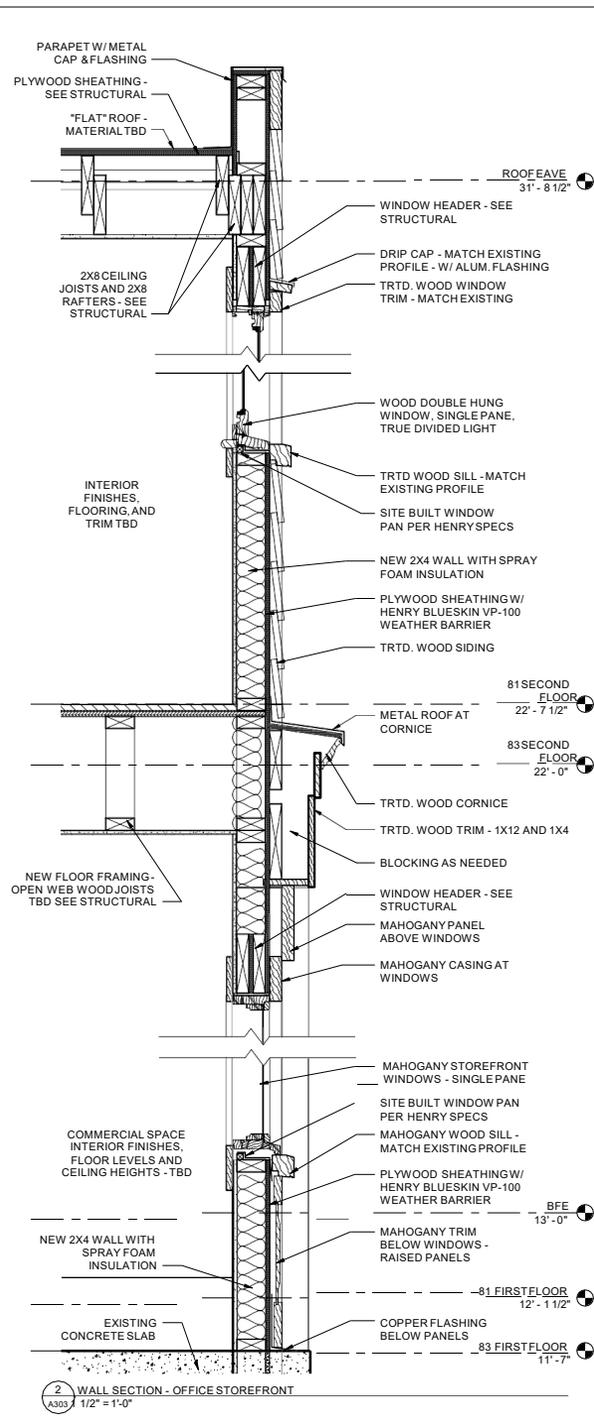
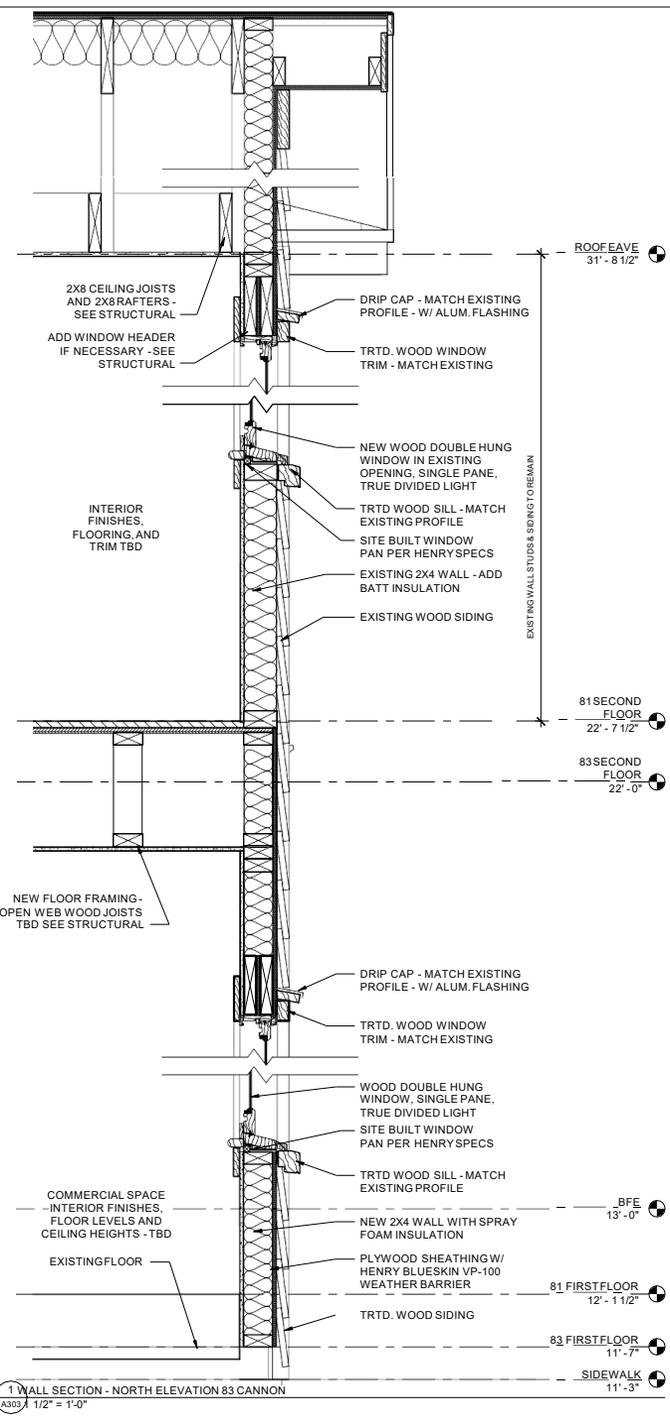
SMITH & CANNON
81-83 CANNON STREET

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PROJ. STATUS: BAR MTG JAN. 23, 2020

WALL SECTIONS - HYPHEN **A302**

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REVISIONS:

SMITH & CANNON
 81-83 CANNON STREET

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PROJ. NO: 1906
 DRAWN BY: LFA
 ISSUE DATE: JAN. 10, 2019
 PROJ. STATUS: BAR MTG JAN. 23, 2020

WALL SECTIONS - 83 CANNON **A303**

Agenda Item #10

428 King Street
TMS # 460-16-02-055

Request final approval for the installation of new sign at corner.

Not Rated (Mazyck-Wraggborough) Old and Historic District

InSight Architecturals

"The finished product is how the public will identify you."

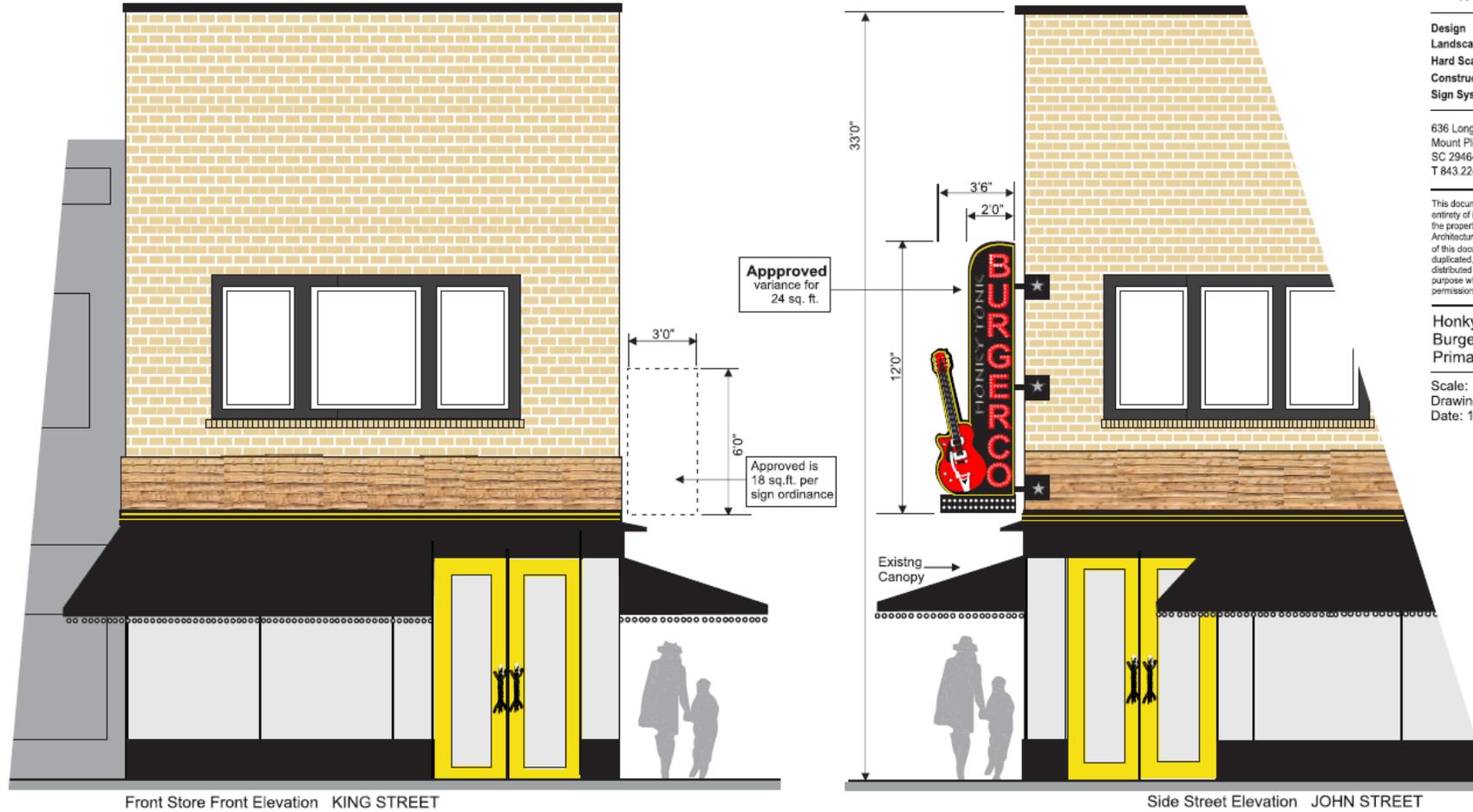
- Design
- Landscape 
- Hard Scape
- Construction
- Sign Systems

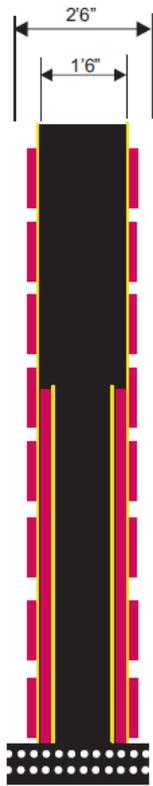
636 Long Point Rd
Mount Pleasant
SC 29464
T 843.224.8502

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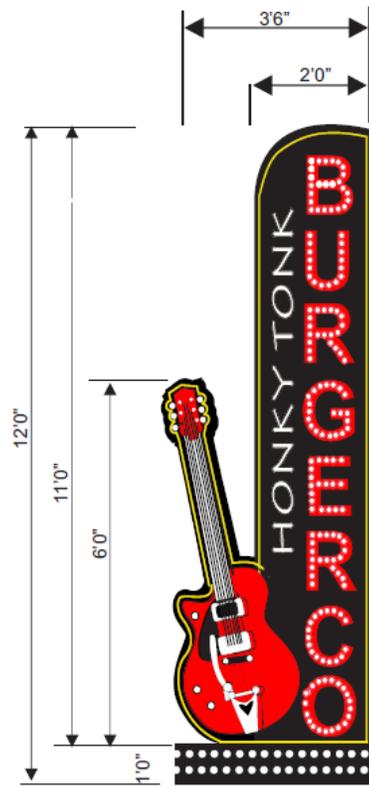
Honky Tonk
Burger Co
Primary Signage

Scale: 1/4"=1'0"
Drawing #: 1668N
Date: 10 / 28 / 19





Front View



Side View

.060 Gauge aluminum black with electrically welded framing.

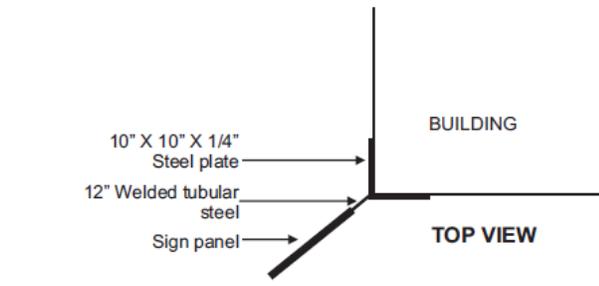
.040 Gauge aluminum red open face letters with clear light bulbs

"HONKY TONK" is single stroke white neon.

Border is single stroke yellow neon.

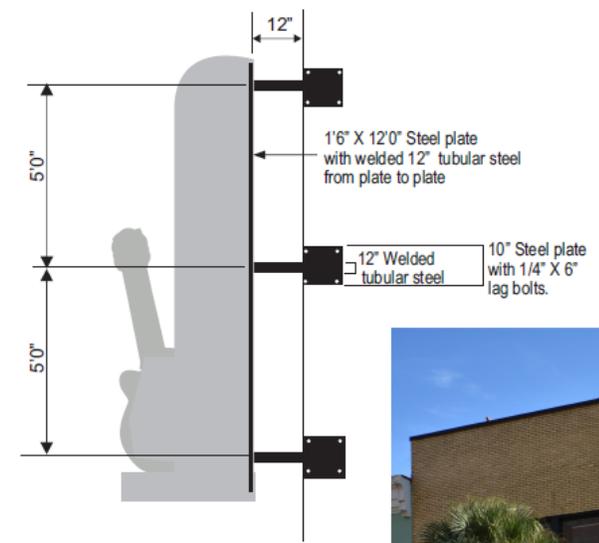
Guitar is applied computer generated vinyl with yellow neon border

Clear lights to match letters

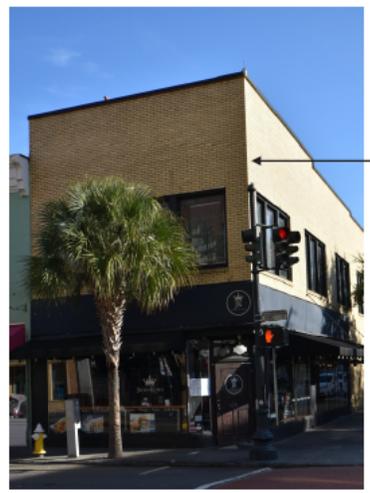


BUILDING

TOP VIEW



BUILDING CORNER INSTALLATION



New sign location

InSight
Architecturals
"The finished product is how the public will identify you."

Design
Landscape 
Hard Scape
Construction
Sign Systems

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Honky Tonk
Burger Co
Primary Signage

Scale: 1/4"=1'0"
Drawing #: 1668N
Date: 10 / 28 / 19

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is how the public will
identify you."*

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Agenda Item #11

31 Rose Lane
TMS # 460-08-01-125

Request conceptual approval for addition to existing single-family residence.

Category 4 / (Cannonborough/Elliottborough) / c. pre1902 / Old City District

Revised Conceptual Submittal for
the City of Charleston's
Board of Architectural Review - Small
December 27, 2019

Proposed Addition and Renovation to:
Rivers Property
31 Rose Street
Charleston, SC 29403

Barbara Looney, Architect
51 Hampton Ct.
Charleston, SC 29403
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BENCHMARK NOTE
CONTRACTOR OR PRIVATE PARTIES WILL VERIFY ALL BENCHMARKS BEFORE BEGINNING CONSTRUCTION.

LINE	BEARING	DISTANCE
11	$S 22^{\circ}20'00'' E$	1.25'
12	$S 22^{\circ}47'00'' E$	3.50'

BENCHMARK NOTE
CONTRACTOR OR PRIVATE PARTIES WILL VERIFY ALL BENCHMARKS BEFORE BEGINNING CONSTRUCTION. IF CHECKED: CHECKED: RECHECKED:

VICINITY MAP (NTS)

REFERENCES:

- DEED BOOK 0816 PAGE 203, CHARLESTON COUNTY RMC.

NOTES:

- AREA WAS DETERMINED BY THE COORDINATE METHOD.
- ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
- THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
- DISTANCE SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
- NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEY WAS PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- TMS NO. 460-08-01-125.
- THERE ARE NO APPLICABLE OPEN CRITICAL LINE BUFFERS OR SETBACKS ON THIS PROPERTY.
- NO LAND OR OTHER AREA IS DEDICATED FOR PUBLIC USE BY THIS PLAT UNLESS A DEDICATION IS EXPRESSLY STATED HEREON.

FLOOD NOTE:

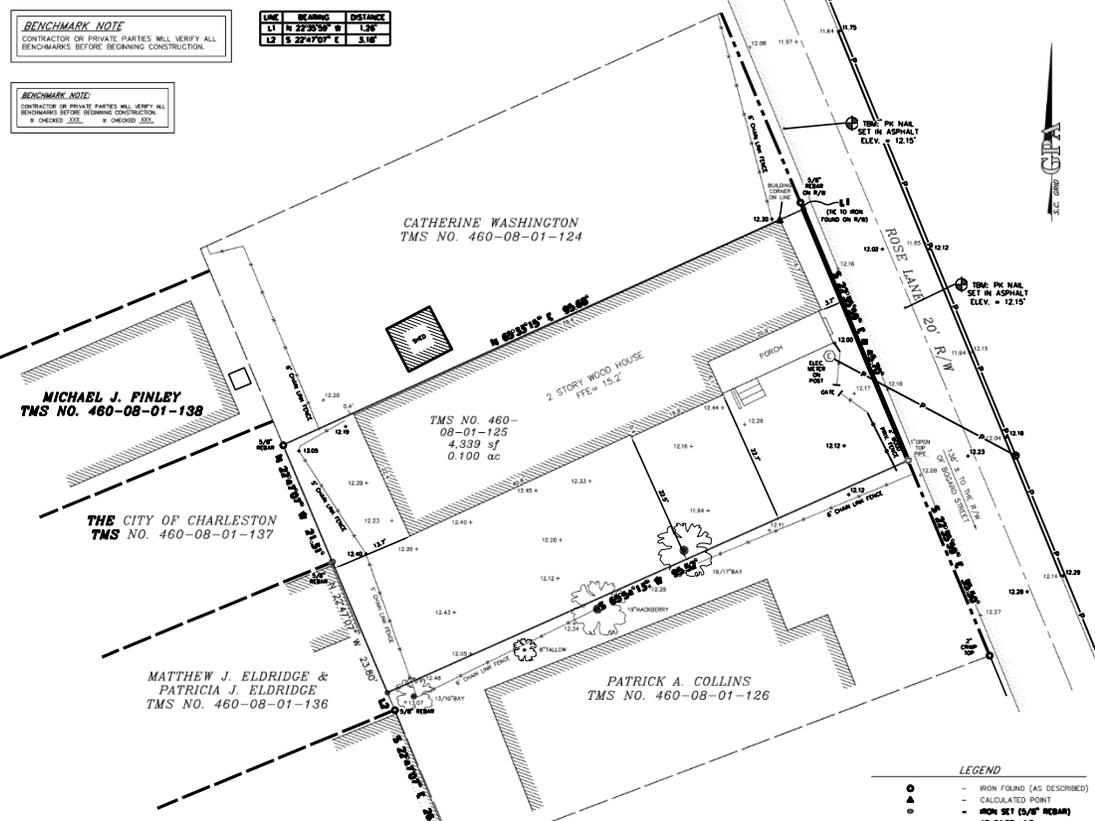
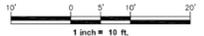
THIS PROPERTY IS LOCATED IN FLOOD ZONE X AS SHOWN FROM FEMA FLOOD MAPS, PANEL NO. 4508IC 0012J, REVISED 11/17/2004.

I, JONATHAN F. BURNS, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF SOUTH CAROLINA, HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN. ALSO, THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

THIS SURVEY IS NOT VALID UNLESS EMBOSSED WITH AN ORIGINAL SURVEYOR'S SEAL. THIS SURVEY HAS BEEN DONE WITHOUT THE BENEFIT OF REVIEWING A CURRENT TITLE SEARCH.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 9TH DAY OF JANUARY, 2018.

JONATHAN F. BURNS, PLS-22742



- LEGEND**
- - IRON FOUND (AS DESCRIBED)
 - △ - CALCULATED POINT
 - - IRON SET (5/8" REBAR)
 - — — - ADJOINER LINE
 - — — - RIGHT-OF-WAY
 - — — - CENTER LINE
 - — — - FENCE LINE
 - — — - OVERHEAD POWER LINE
 - — — - WATER METER
 - — — - POWER POLE
 - - SPOT ELEVATION
 - — — - EDGE OF ASPHALT

DATE	REVISION	BY



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LADSON, SC 29456
OFFICE (843) 285-2424

GPA OF CHARLOTTE, INC.
605 PINELEAF DAVIDS DRIVE
CHARLOTTE, NC 28238-8918
OFFICE (704) 335-8600

GPA OF RALEIGH, INC.
112 WOOD AVE. N.W.
RALEIGH, NC 27605

CHARLESTON, SC 29403
OFFICE (843) 971-9999
FAX (843) 971-9992

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SCALE
1"=10'
P.L.D. BK. PG.
JOB NO.
175222
DATE
01/09/2018
DRAWN BY
BDM
CHECKED BY
ELG

SHOWING TMS NO. 460-08-01-125
31 ROSE LANE
OWNED BY LUTHER RIVERS
LOCATION IN CHARLESTON
CHARLESTON COUNTY, SOUTH CAROLINA

BOUNDARY & TOPOGRAPHIC SURVEY

REFERENCE FOR BENCHMARK IS AS SHOWN.

SHEET	OF
1	1



31 ROSE LANE
 CHARLESTON,
 SOUTH CAROLINA
 2 9 4 0 3

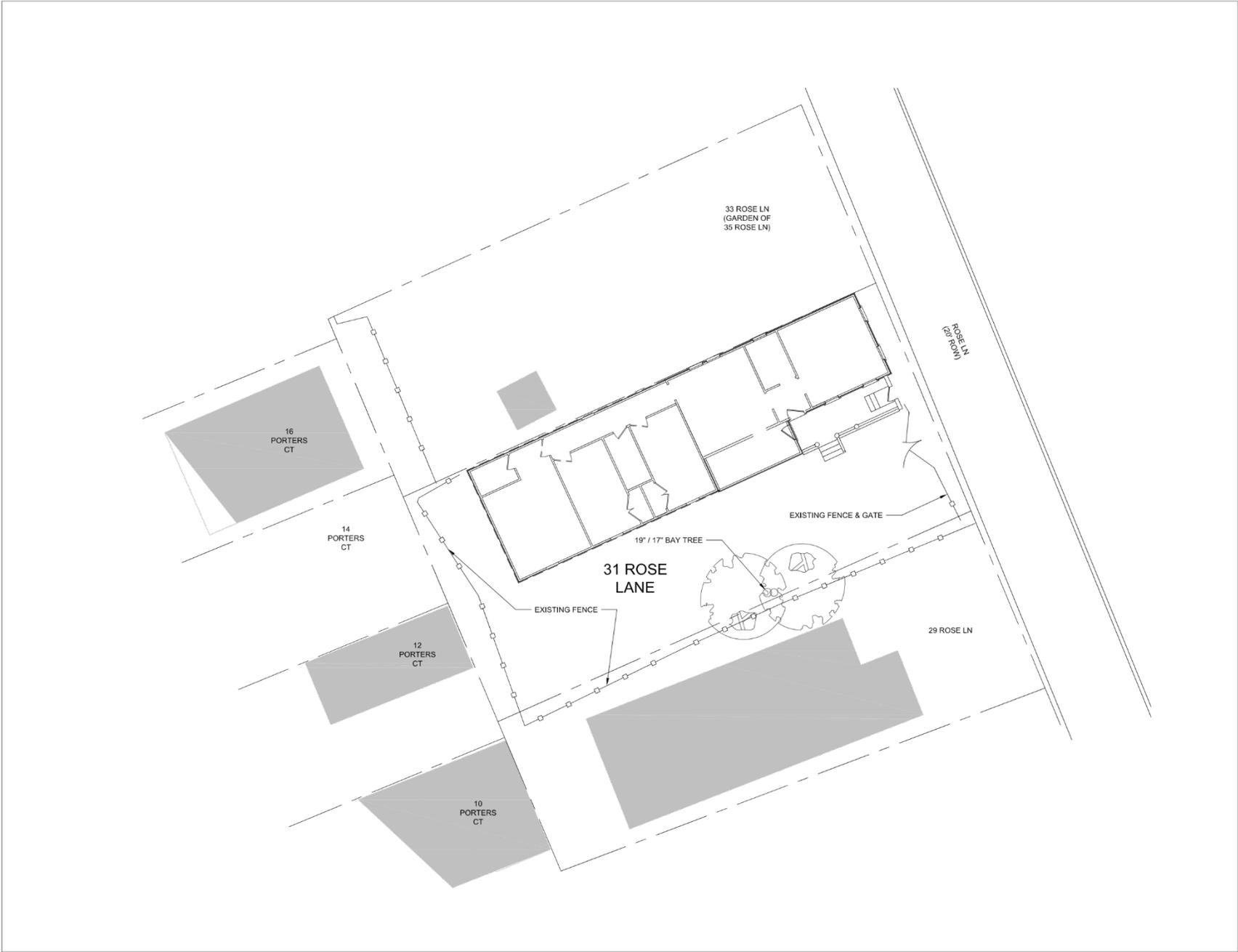
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 LOONEY
 ARCHITECT
 P.O. BOX 62
 CHARLESTON
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No.	Revision/Issue	Date

Sheet Name
 PREVIOUSLY
 EXISTING
 SITE PLAN

Date 11/13/2019	Sheet No. AE001
Scale As Noted	



31 ROSE LANE
 CHARLESTON,
 SOUTH CAROLINA
 2 9 4 0 3

B A R B A R A
 L O O N E Y
 A R C H I T E C T
 P . O . B O X 6 2
 C H A R L E S T O N
 S C 2 9 4 0 2

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No.	Revision/Issue	Date

Sheet Name
 CURRENTLY
 EXISTING
 SITE PLAN

Date 11/13/2019	Sheet No. AE002
Scale As Noted	

31 Rose Lane
TMS: 460-08-01-125

Lot Size: 4,339 square feet

Zoning Information:

Zoned DR-2F

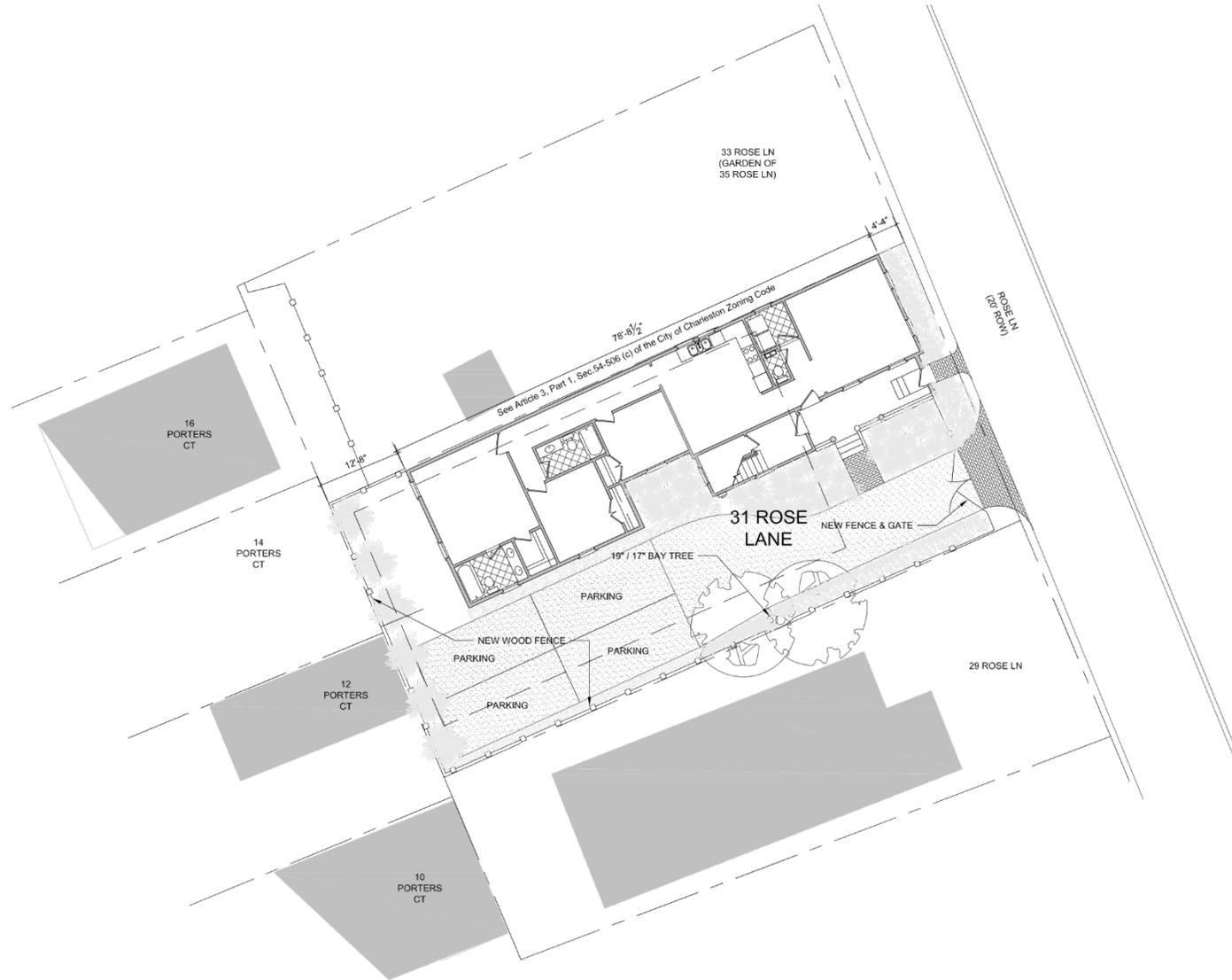
Setbacks:

Front: 25' * North Side: 3'
Rear: 3' South Side: 7'
Total Front/Rear: 3' Total Side: 10'

Density:

4,000 sf required for 2 units = 2,000 sf / unit

Proposed Building Coverage:
1,723 square feet = 40%
(maximum allowable = 50%)



RECLAIMED OLD CHARLESTON BRICK AT DRIVEWAY SKIRT & WALKWAYS

SLAG PEA GRAVEL AT DRIVEWAY, WITH METAL EDGING

31 ROSE LANE
CHARLESTON,
SOUTH CAROLINA
2 9 4 0 3

B A R B A R A
L O O N E Y
A R C H I T E C T
P . O . B O X 6 2
C H A R L E S T O N
S C 2 9 4 0 2

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1 BAR's - Resubmittal Issue Dec. 20, 2019

No.	Revision/Issue	Date
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Sheet Name
PREVIOUSLY
PROPOSED
SITE PLAN

Date
11/13/2019

Sheet No.

Scale
As Noted

A001

31 Rose Lane
 TMS: 460-08-01-125

Lot Size: 4,339 square feet

Zoning Information:

Zoned DR-2F

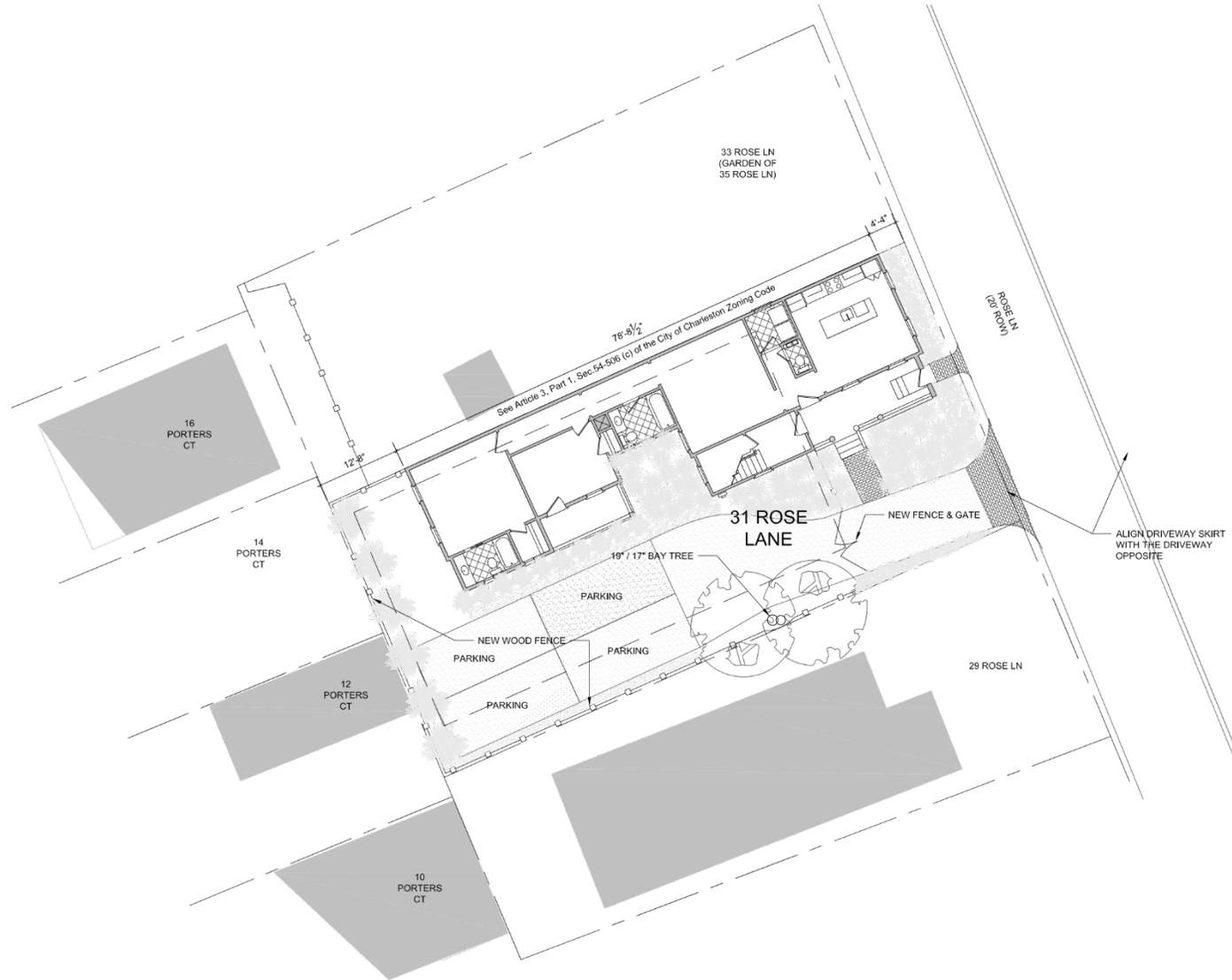
Setbacks:

Front: 25' * North Side: 3'
 Rear: 3' South Side: 7'
 Total Front/Rear: 3' Total Side: 10'

Density:

4,000 sf required for 2 units = 2,000 sf / unit

Proposed Building Coverage:
 1,614 square feet = 37.2%
 (maximum allowable = 50%)



RECLAIMED OLD CHARLESTON BRICK AT DRIVEWAY SKIRT & WALKWAYS

SLAG PEA GRAVEL AT DRIVEWAY, WITH METAL EDGING

31 ROSE LANE
 CHARLESTON,
 SOUTH CAROLINA
 2 9 4 0 3

BARBARA
 LOONEY
 ARCHITECT
 P.O. BOX 62
 CHARLESTON
 SC 2 9 4 0 2

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1 BARs - Resubmittal Issue Dec. 20, 2019

No.	Revision/Issue	Date

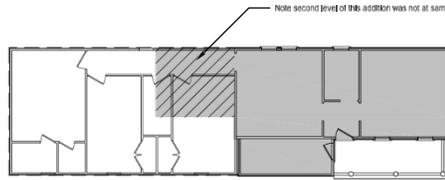
Sheet Name
 PROPOSED
 SITE PLAN

Date
 11/13/2019

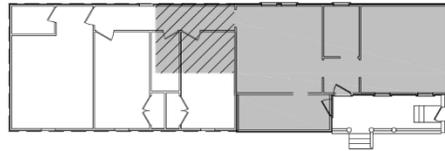
Sheet No.

Scale
 As Noted

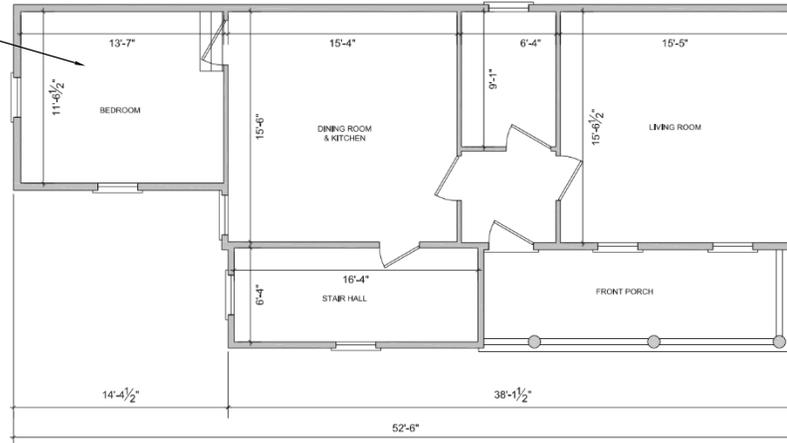
A002



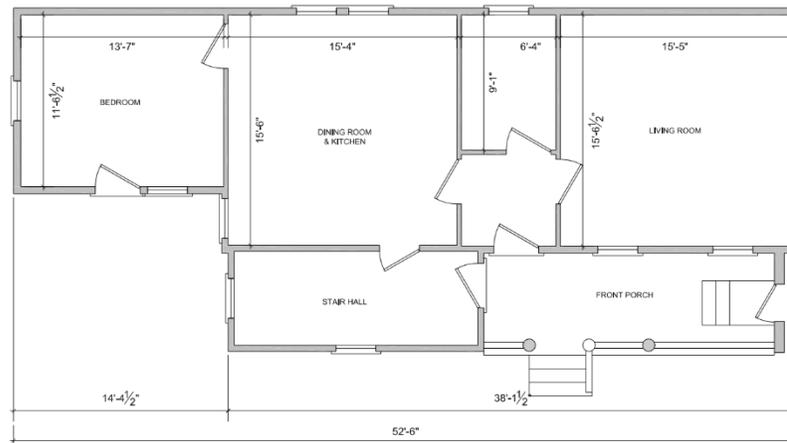
3 Overlay of Existing & Previously Existing Second Level Plans
Scale: 3/32" = 1'-0"



4 Overlay of Existing & Previously Existing First Level Plans
Scale: 3/32" = 1'-0"



2 Previously Existing Second Level Plan
Scale: 1/4" = 1'-0"



1 Previously Existing First Level Plan
Scale: 1/4" = 1'-0"

ROSE LANE

ROSE LANE

31 ROSE LANE
CHARLESTON,
SOUTH CAROLINA
2 9 4 0 3

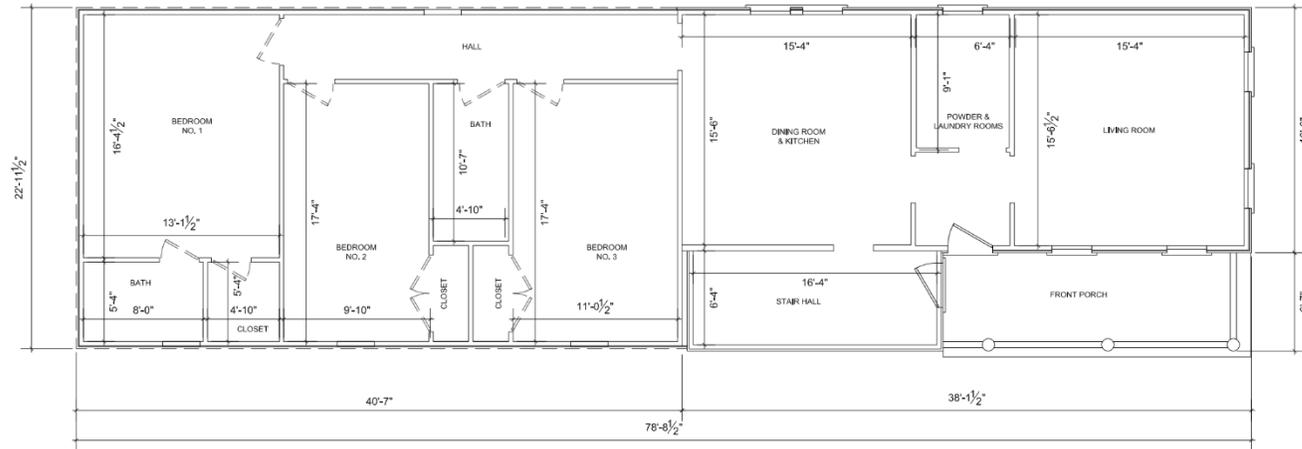
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LOONEY
ARCHITECT
P.O. BOX 62
CHARLESTON
SC 29402

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No.	Revision/Issue	Date

Sheet Name
Previously Existing Plans

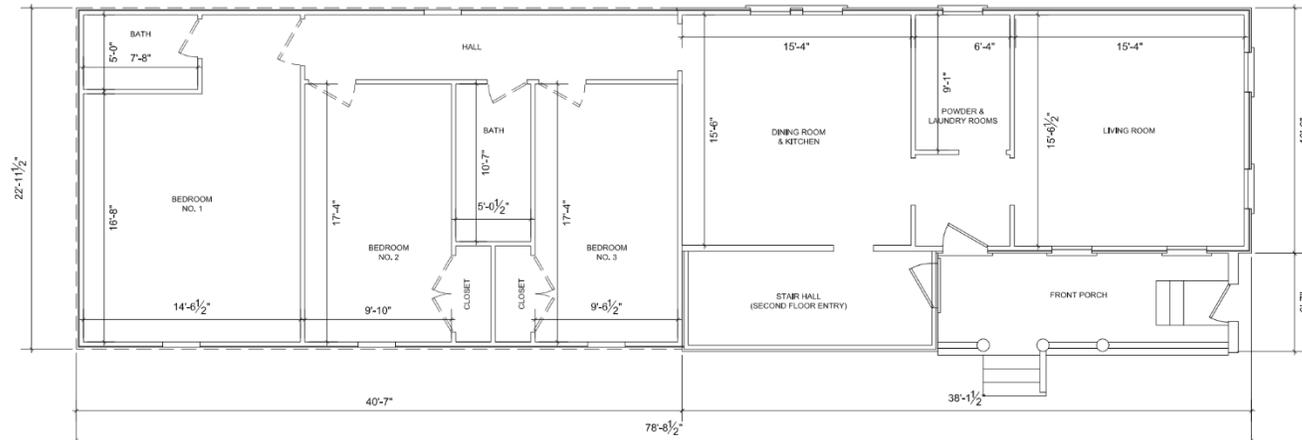
Date 10/22/2018	Sheet No. AE101
Scale As Noted	



2 Currently Existing Second Level Plan

Scale: 1/4" = 1'-0"

- Notes:
- all interior walls shown are original framing at original house or 2x4 framing at addition; interior dimensions are to face of studs.
 - exterior addition walls are 2" OSB sheathing on 2x4 stud walls; exterior dimensions at addition are to face of sheathing.



1 Currently Existing First Level Plan

Scale: 1/4" = 1'-0"

31 ROSE LANE
CHARLESTON,
SOUTH CAROLINA
2 9 4 0 3

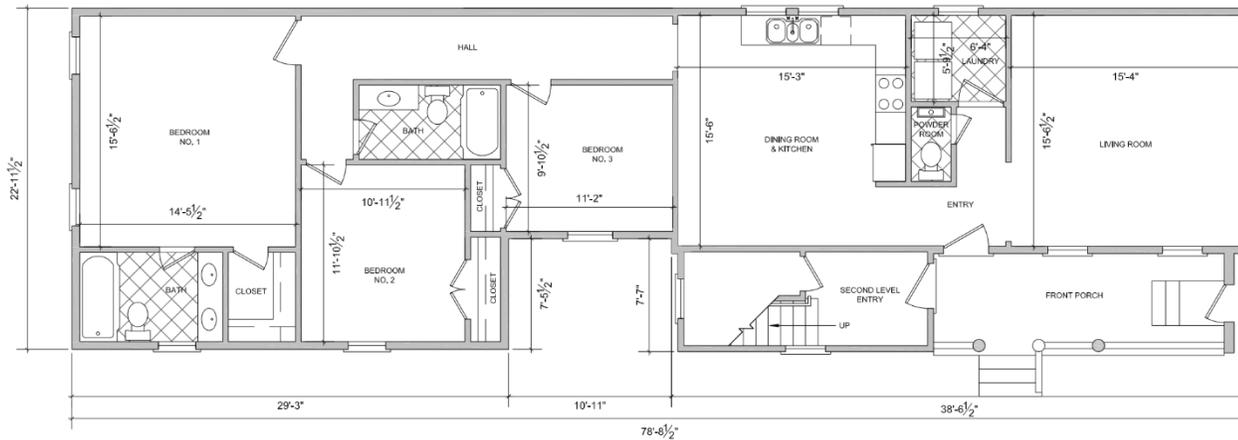
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SC 29402

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No.	Revision/Issue	Date

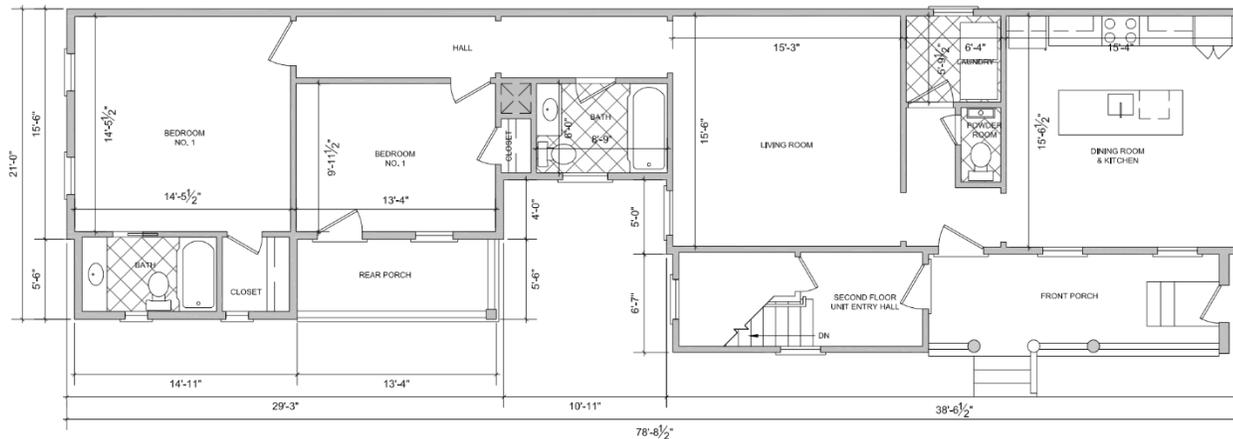
Sheet Name
Currently Existing Plans

Date 10/22/2018	Sheet No. AE102
Scale As Noted	



1 Previously Proposed First Level Plan

Scale: 1/4" = 1'-0"



2 Proposed First Level Plan

Scale: 1/4" = 1'-0"

ROSE LANE

ROSE LANE

31 ROSE LANE
CHARLESTON,
SOUTH CAROLINA
2 9 4 0 3

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1 BAR's - Resubmittal Issue Dec. 20, 2019

No.	Revision/Issue	Date

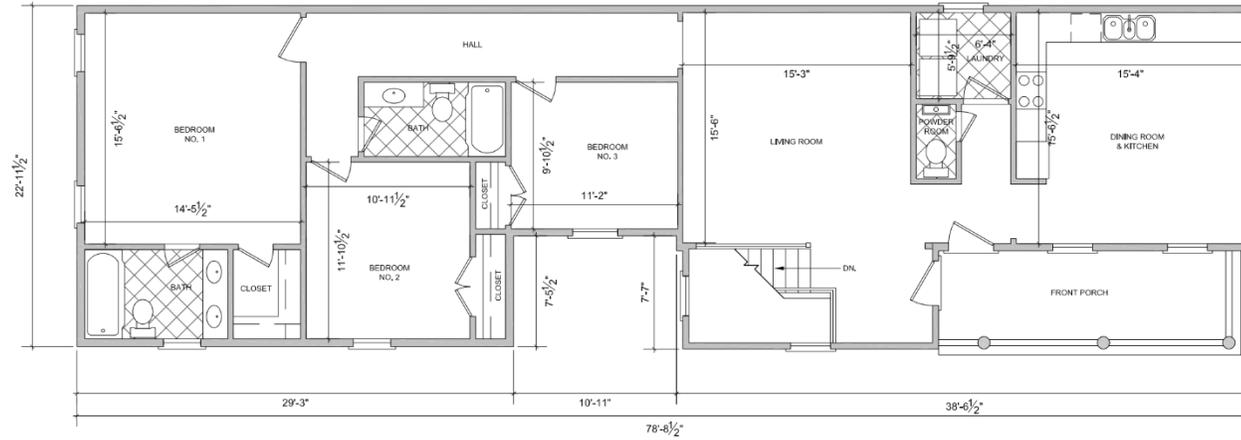
Sheet Name
Proposed
Addition
Plans -
First Level

Date
10/22/2018

Sheet No.

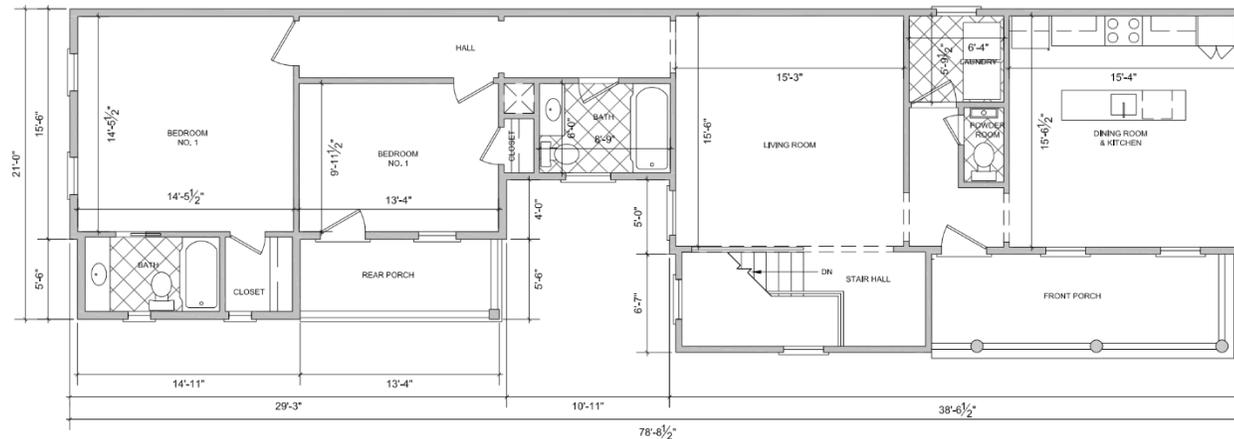
Scale
As Noted

A101



1 Previously Proposed Second Level Plan

Scale: 1/4" = 1'-0"



2 Proposed Second Level Plan

Scale: 1/4" = 1'-0"

ROSE LANE

ROSE LANE

31 ROSE LANE
CHARLESTON,
SOUTH CAROLINA
2 9 4 0 3

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P.O. BOX 62
CHARLESTON
SC 29402

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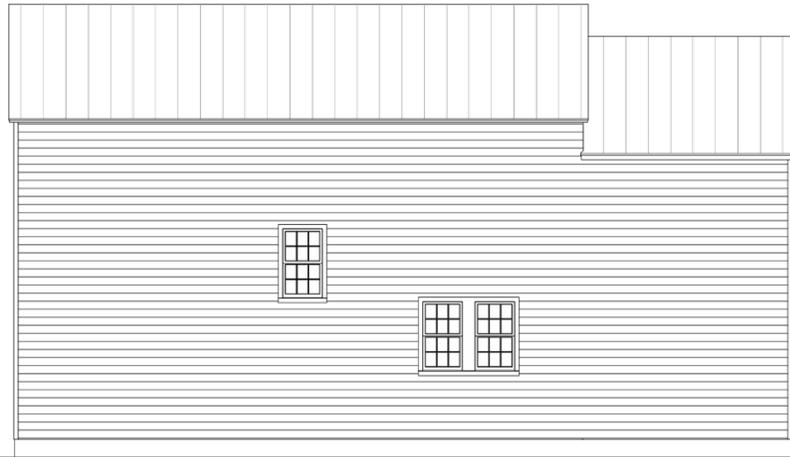
1 BAR's - Resubmittal Issue Dec. 20, 2019		
No.	Revision/Issue	Date

Sheet Name
Proposed
Addition
Plans -
Second Level

Date 10/22/2018	Sheet No. A102
Scale As Noted	



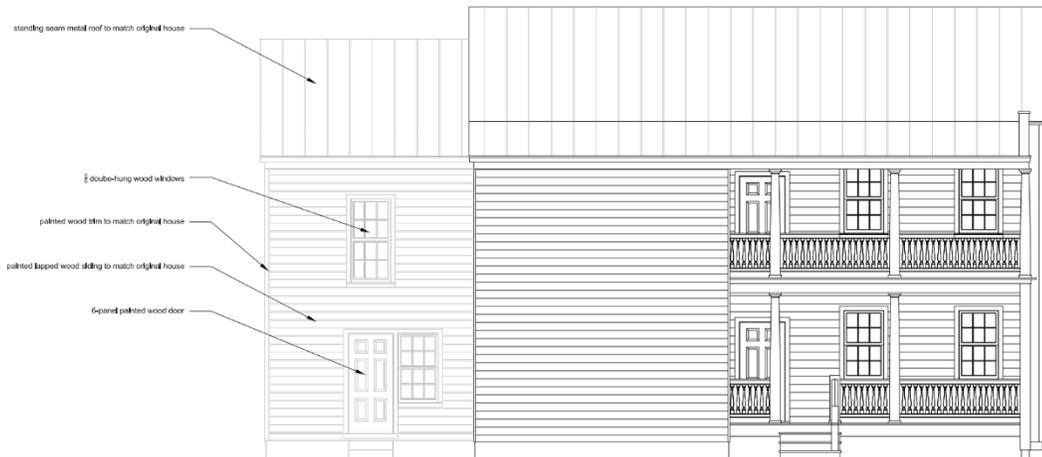
1 Previously Existing Rear (West) Elevation
Scale: 1/4" = 1'-0"



2 Previously Existing Side (North) Elevation
Scale: 1/4" = 1'-0"



3 Previously Existing Front (East) Elevation
Scale: 1/4" = 1'-0"



4 Previously Existing Driveway (South) Elevation
Scale: 1/4" = 1'-0"

31 ROSE LANE
CHARLESTON,
SOUTH CAROLINA
2 9 4 0 3

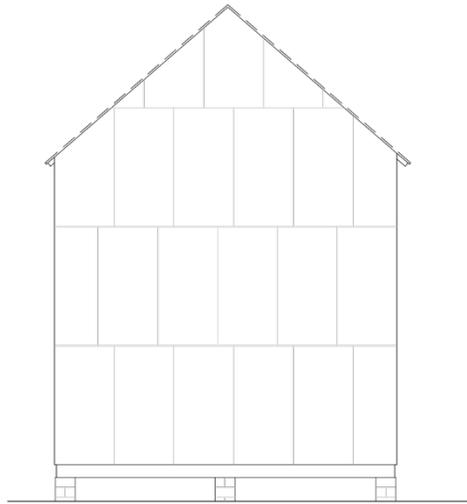
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No.	Revision/Issue	Date

Sheet Name
Previously Existing Elevations

Date 10/22/2018	Sheet No. AE201
Scale As Noted	



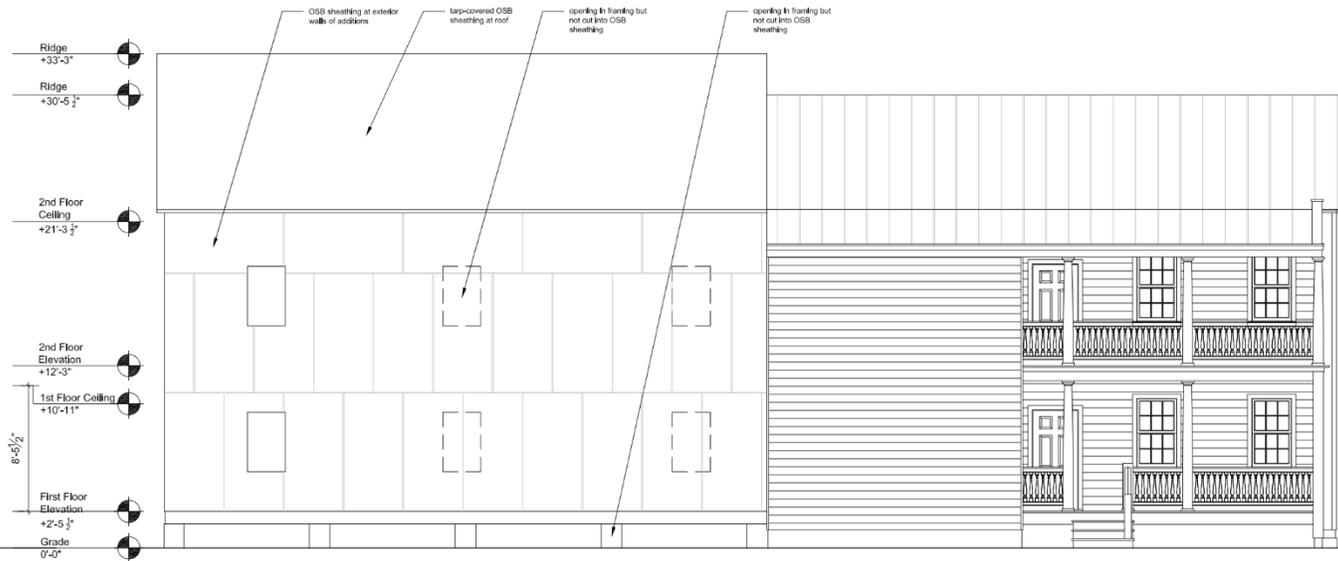
1 Currently Existing Rear (West) Elevation
Scale: 1/4" = 1'-0"



2 Currently Existing Side (North) Elevation
Scale: 1/4" = 1'-0"



3 Currently Existing Front (East) Elevation
Scale: 1/4" = 1'-0"



4 Currently Existing Driveway (South) Elevation
Scale: 1/4" = 1'-0"

31 ROSE LANE
CHARLESTON,
SOUTH CAROLINA
2 9 4 0 3

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LOONEY
ARCHITECT
P.O. BOX 62
CHARLESTON
SC 29402

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No.	Revision/Issue	Date

Sheet Name
Currently Existing Elevations

Date 10/22/2018	Sheet No. AE202
Scale As Noted	



1 Previously Proposed Front (East) Elevation
Scale: 1/4" = 1'-0"



2 Previously Proposed Driveway (South) Elevation
Scale: 1/4" = 1'-0"



3 Proposed Front (East) Elevation
Scale: 1/4" = 1'-0"



4 Proposed Driveway (South) Elevation
Scale: 1/4" = 1'-0"

31 ROSE LANE
CHARLESTON,
SOUTH CAROLINA
2 9 4 0 3

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1 BARs - Resubmittal Issue Dec. 20, 2019

No.	Revision/Issue	Date

Sheet Name
Previously Proposed
and Proposed
South & East
Elevations

Date
10/22/2018

Sheet No.
A201

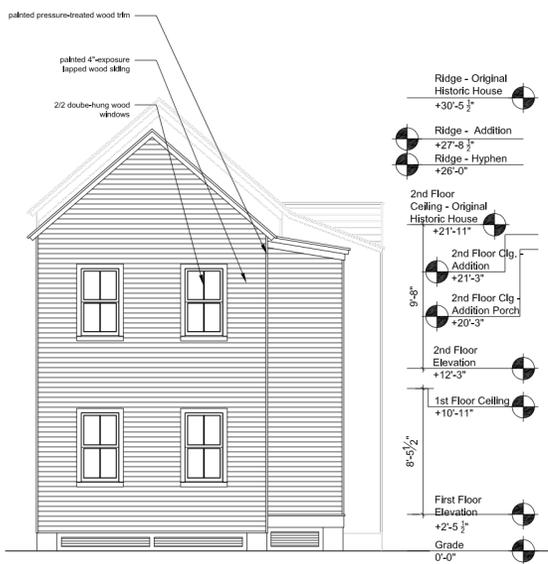
Scale
As Noted



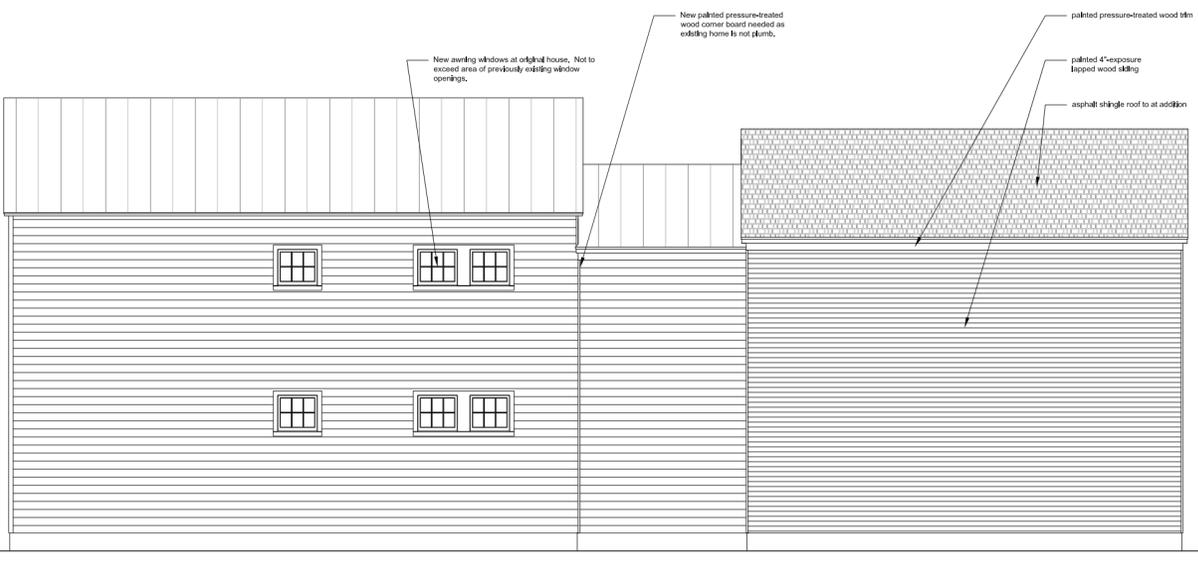
1 Previously Proposed Rear (West) Elevation
Scale: 1/4" = 1'-0"



2 Previously Proposed Side (North) Elevation
Scale: 1/4" = 1'-0"



3 Proposed Rear (West) Elevation
Scale: 1/4" = 1'-0"



4 Proposed Side (North) Elevation
Scale: 1/4" = 1'-0"

31 ROSE LANE
CHARLESTON,
SOUTH CAROLINA
2 9 4 0 3

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1	BARs - Resubmittal Issue	Dec. 20, 2019
No.	Revision/Issue	Date

Sheet Name
Previously Proposed
and Proposed
North & West
Elevations

Date	10/22/2018	Sheet No.	A202
Scale	As Noted		

Agenda Item #12

586 East Bay Street
TMS # 459-00-00-172

Request conceptual approval for exterior alterations including installation of storefront windows, signage, and painting.

Not Surveyed / (Ports Area) / c. 1997 / Old City District

































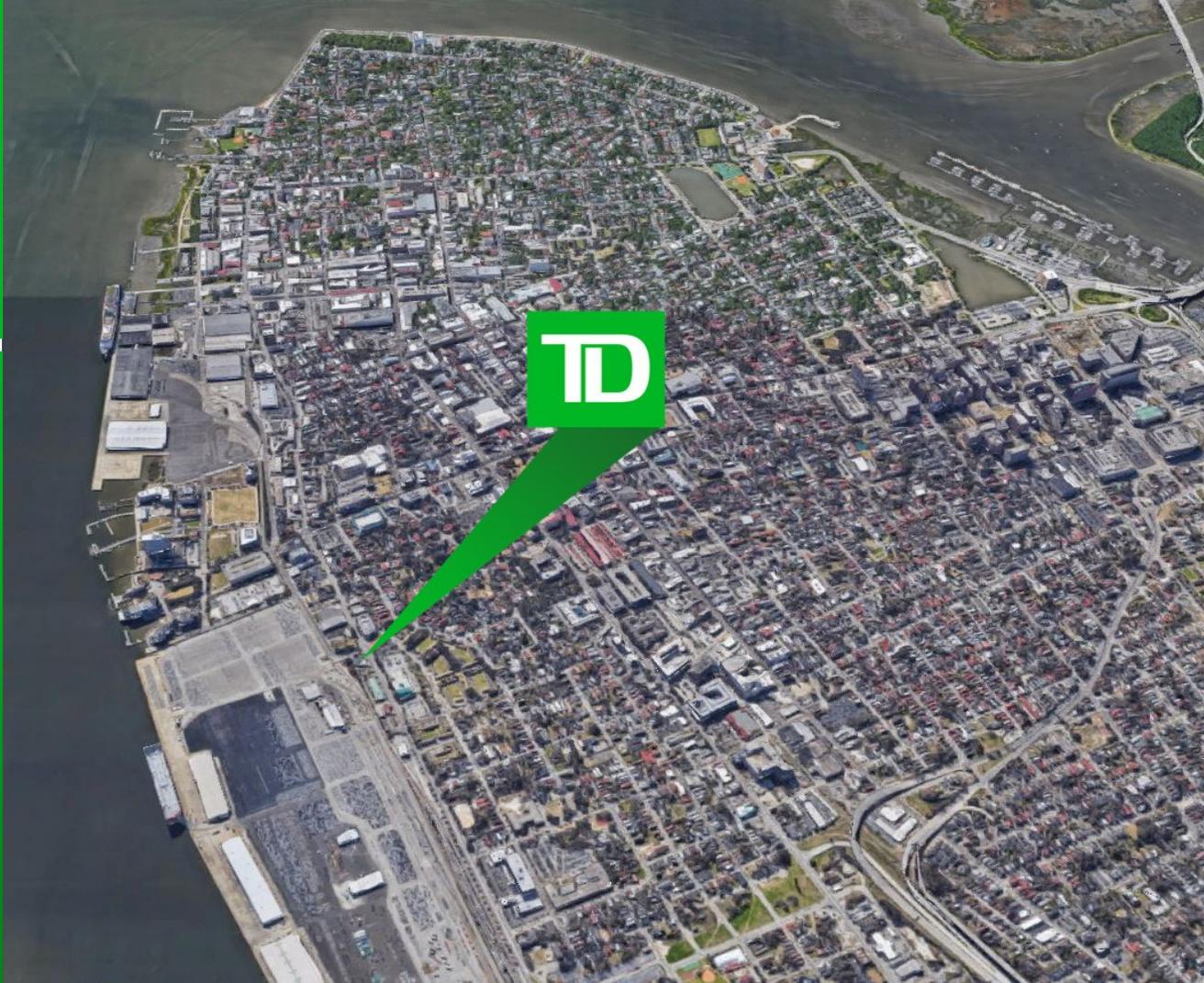




BAR-S Presentation

January 23, 2020

TD Bank- Charleston
586 East Bay Street
Charleston, SC 29403



EXISTING AERIAL VIEW

586 East Bay Street, Charleston, SC 29403

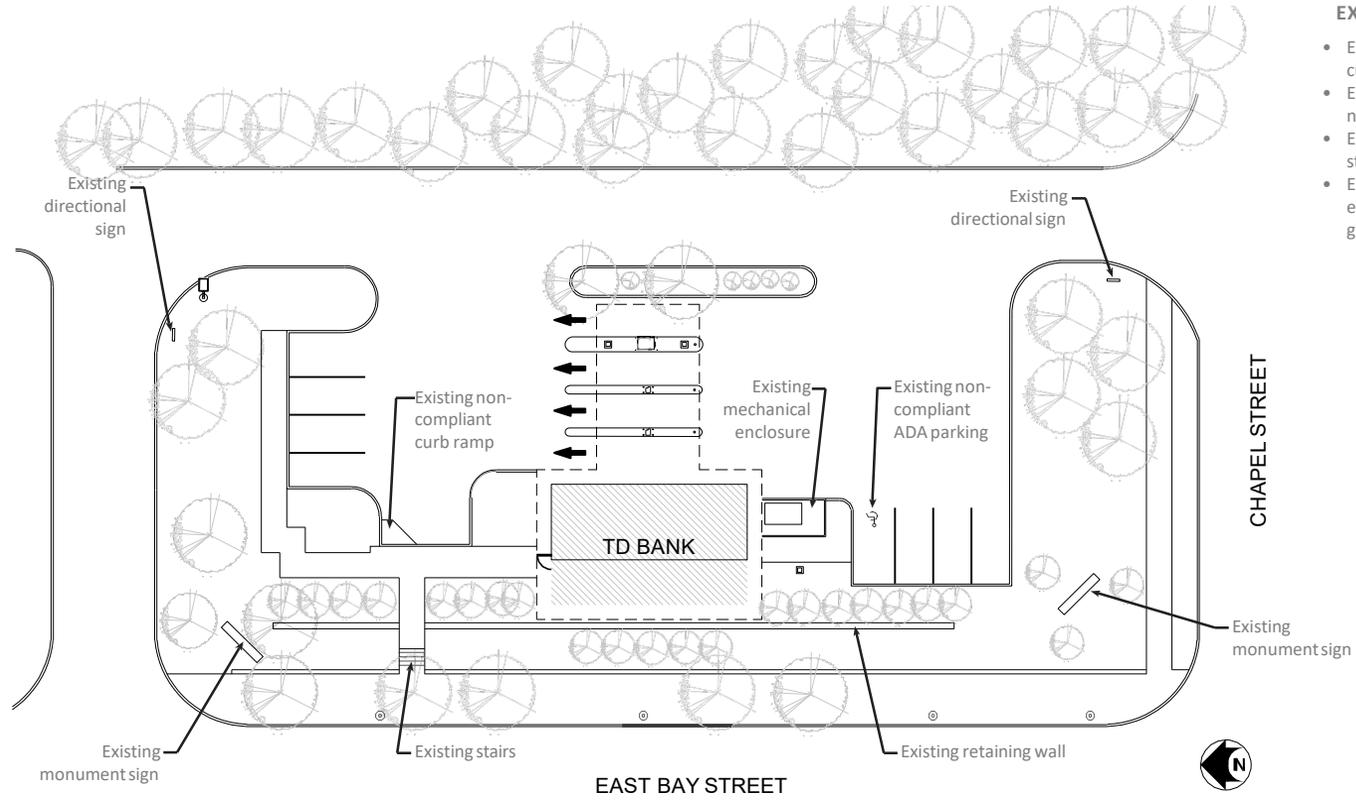
TD Bank- Charleston, SC



EXISTING SITE PLAN

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC



EXISTING SITE SUMMARY

- Existing building and site is currently drive thru only facility.
- Existing ADA parking location is not code compliant.
- Existing ADA curb ramp and striping is not code compliant.
- Existing mechanical units are enclosed within screened on grade area.

SCALE: 1" = 20'

EXISTING SITE PHOTOS

586 East Bay Street, Charleston, SC 29403

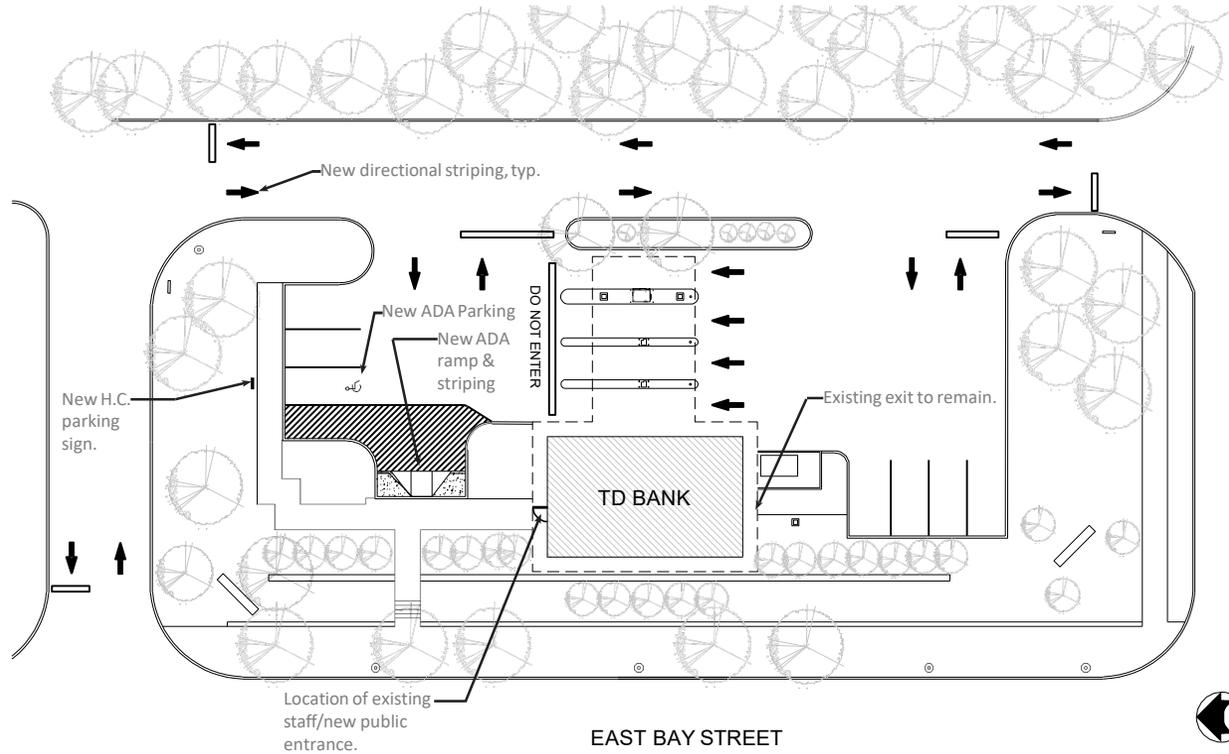
TD Bank- Charleston, SC



PROPOSED SITE PLAN

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC



PROPOSED SITE SUMMARY

- No change to building footprint.
- No change to driveways or traffic flow.
- Relocating ADA parking space for code compliance, including new H.C. parking sign.
- Replacing ADA curb ramp for code compliance.
- Adding ADA pathway striping for code compliance.
- Restriping parking lot for clearer directional markings.
- No change to site layout other than ADA parking relocation.
- No change to existing site (monument & directional) signage.
- Proposed new "TD shield" building signage- see proposed elevations.
- Existing site lighting to remain unchanged. New building sconces to be installed.
- Existing staff entrance will become public entrance.

PARKING SUMMARY

Building Use:	Bank
Gross Building Area:	988 SF
Zoning Parking Ratio:	1 per 240 SF
Required Parking:	5 spaces
Provided Parking:	7 spaces (incl. 1 ADA)

SCALE: 1" = 20'

EXISTING BUILDING PHOTOS

586 East Bay Street, Charleston, SC 29403

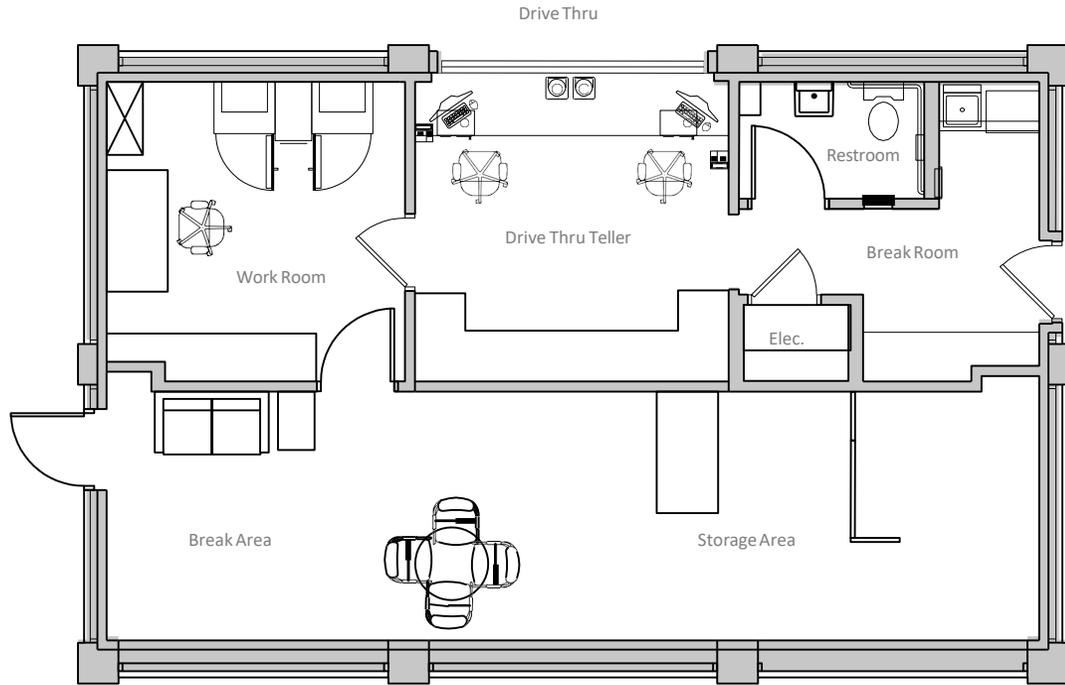
TD Bank- Charleston, SC



EXISTING FLOOR PLAN

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC



EXISTING PLAN SUMMARY

- No change to building footprint.
- Existing restroom is not ADA compliant.
- Existing building functions as drive-thru only.



SCALE: 1/4" = 1'-0"

EXISTING INTERIOR PHOTOS

586 East Bay Street, Charleston, SC 29403

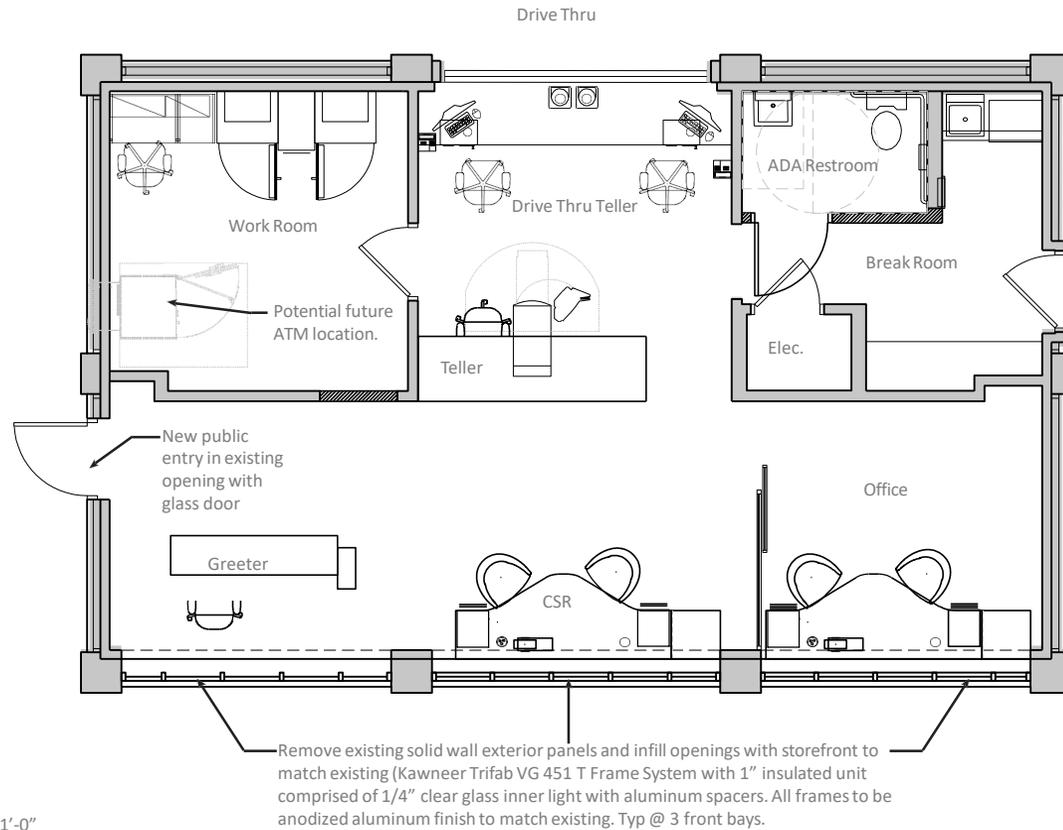
TD Bank- Charleston, SC



PROPOSED FLOOR PLAN

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC



PROPOSED PLAN SUMMARY

- No change to building footprint.
- Reconfigured restroom for ADA compliance.
- Replace solid wall exterior panels with new storefront glazing to match existing clerestory above.
- Provide full service banking facility with teller/ drive thru teller, greeter, and customer service representatives.
- Potential for future walk-up ATM.



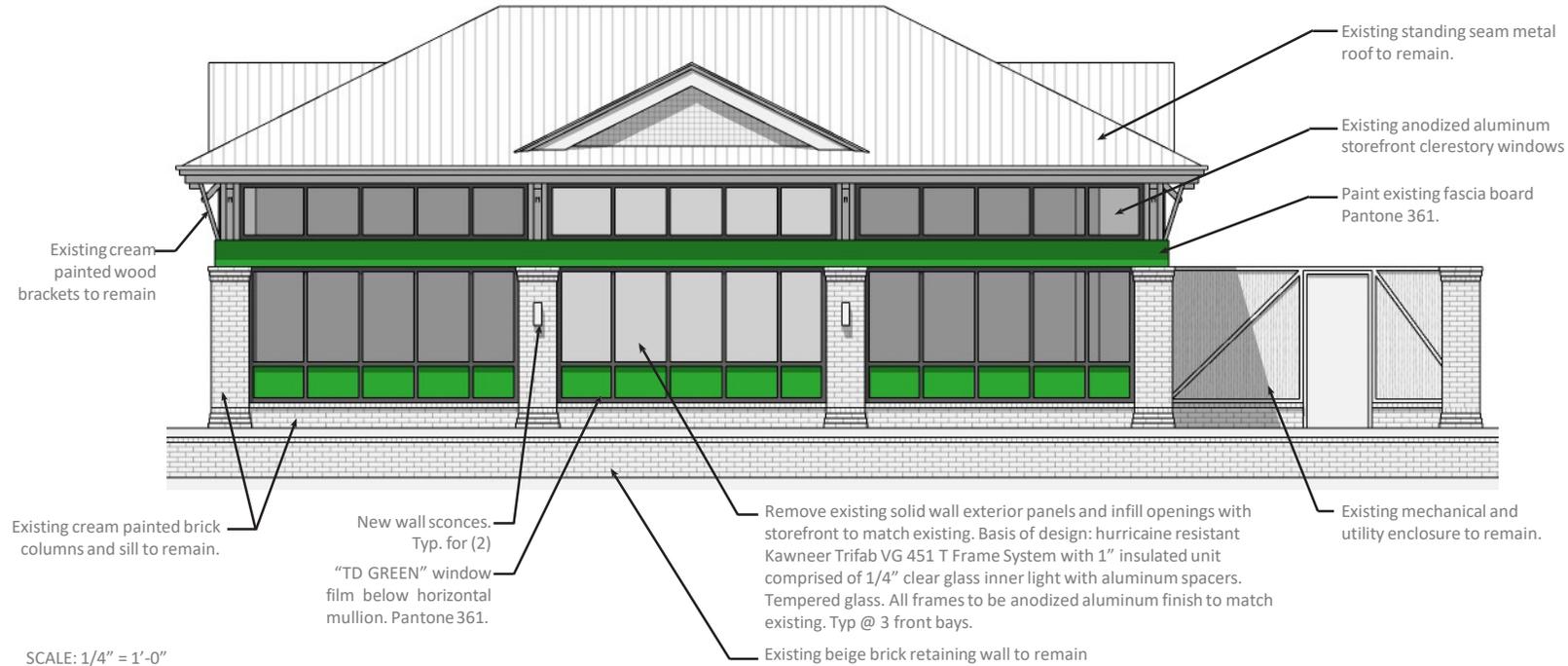
SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATION- WEST

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC

NOTE: No change to existing exterior materials, paint colors or finishes U.N.O.

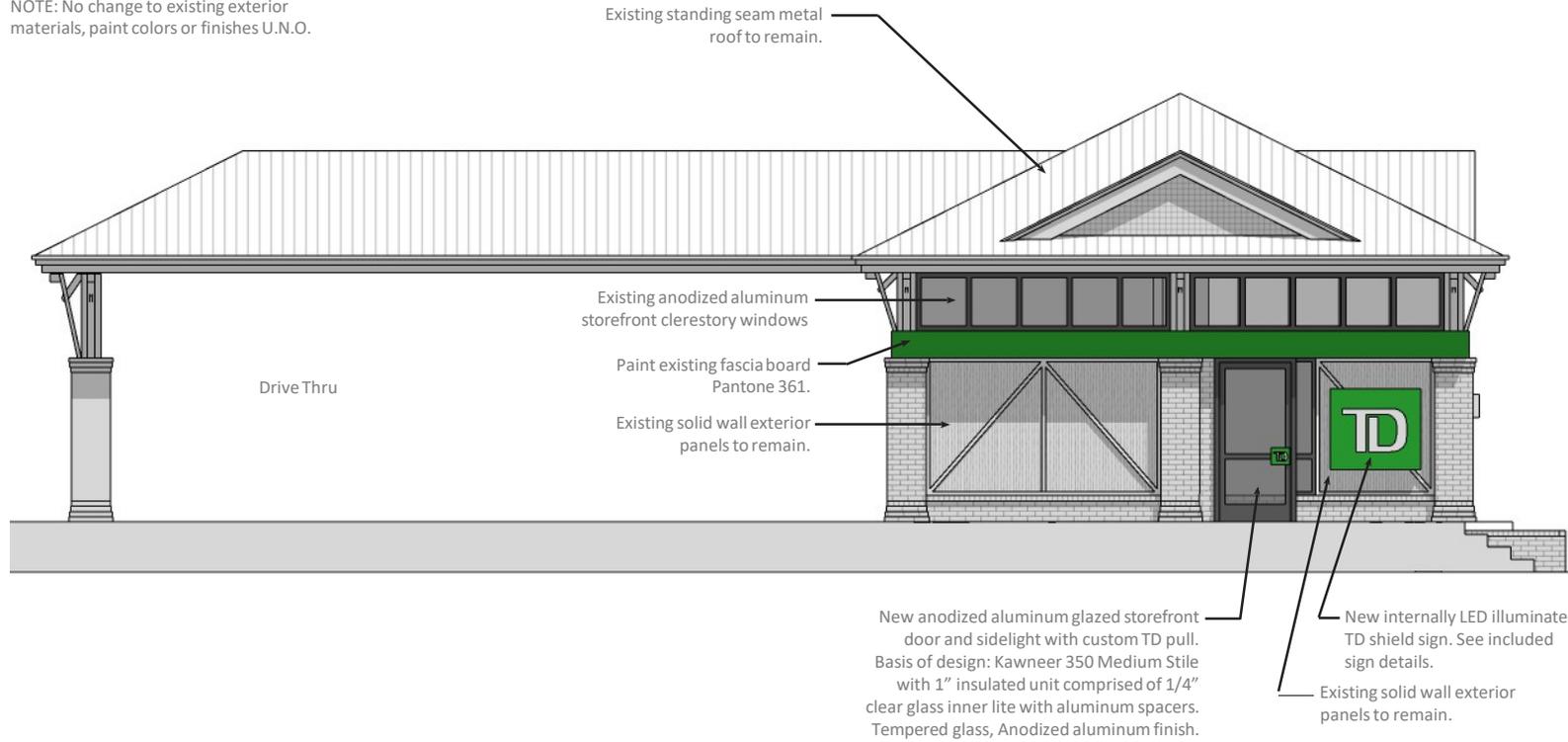


PROPOSED EXTERIOR ELEVATION- NORTH

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC

NOTE: No change to existing exterior materials, paint colors or finishes U.N.O.



SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATION- SOUTH

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC



SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR PERSPECTIVE

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC

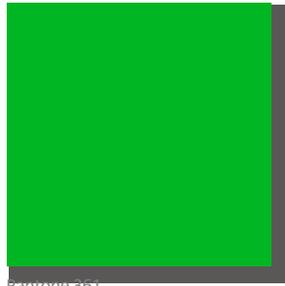


VIEW LOOKING NORTH FROM EAST BAY STREET

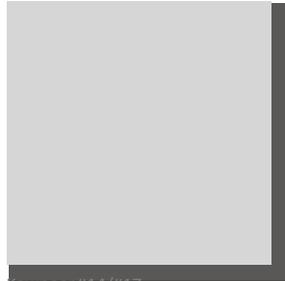
PROPOSED DETAILS AND FINISHES

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC



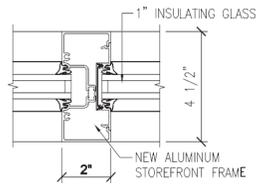
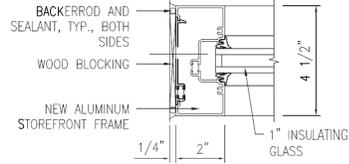
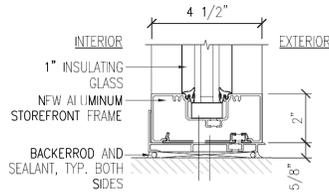
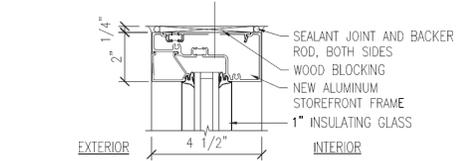
Pantone 361



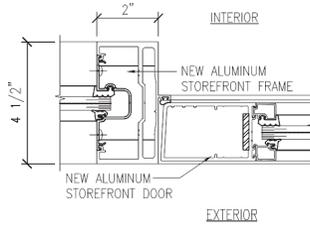
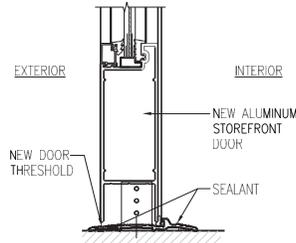
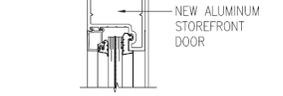
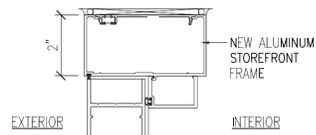
Kawneer #14/#17
Clear Anodized Aluminum



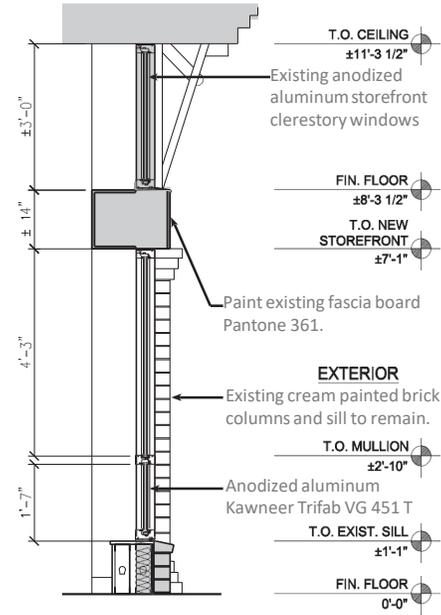
Exterior Wall Sconce



Kawneer Storefront Details
SCALE: 3" = 1'-0"



Kawneer Door Details
SCALE: 3" = 1'-0"



Exterior Wall Section at New Storefront
SCALE: 1/2" = 1'-0"

EXISTING SITE SIGNAGE

586 East Bay Street, Charleston, SC 29403

TD Bank- Charleston, SC



South Monument Sign
Externally Illuminated



North Monument Sign
Externally Illuminated



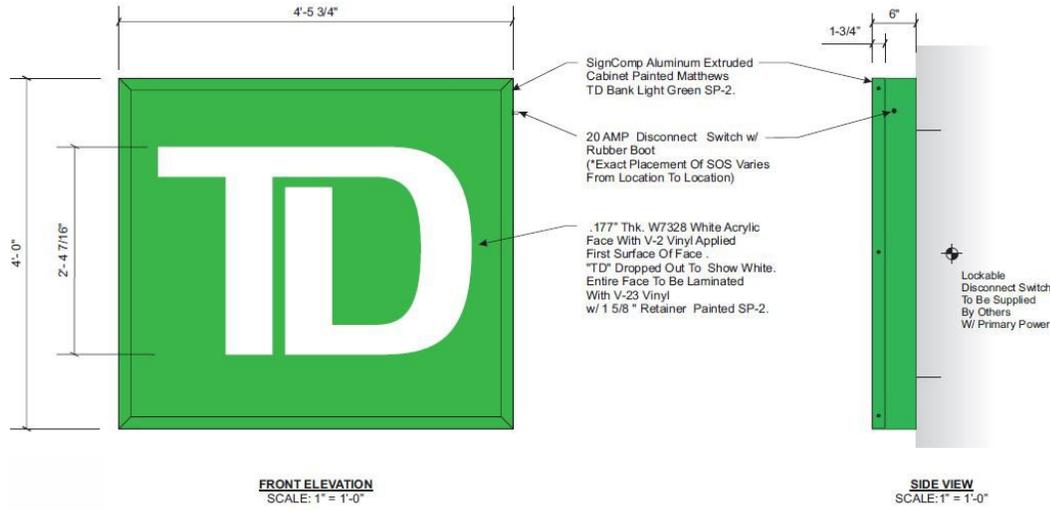
South Directional Sign
Non-Illuminated



North Directional Sign
Non-Illuminated

SIGNAGE SUMMARY

Building Zoning: LI Light Industrial
Elevation Area: 420 SF ea. side
10% of Elevation: 42 SF
Proposed Sign Area: 17.91 SF ea.
Total Proposed Sign Area: 35.82 SF





NO.	DATE	DESCRIPTION	REV.	CKD

BLM	SPW
01/20/2020	DTM
01/24/12	AS INDICATED

DEMOLITION PLAN

GENERAL DEMOLITION NOTES

- REFER TO T-001 FOR PROJECT INFORMATION, REFER TO G-001 FOR LEGENDS AND ABBREVIATIONS.
- COORDINATE REMOVAL OF ITEMS TO BE SALVAGED, STORED, AND/OR PROTECTED FOR FUTURE USE WITH OWNER.
- PROTECT EXISTING PERIMETER WINDOWS, WINDOW TRIM, FASCIAS AND SOFFITS UNLESS OTHERWISE NOTED.
- PROVIDE A MINIMUM OF TWO (2) 2.5LB FIRE EXTINGUISHERS APPROVED FOR "A", "B" AND "C" TYPE FIRES, TO BE LOCATED AT THE ENTRY/EXIT POINTS TO THE SITE. FIRE EXTINGUISHERS ARE TO REMAIN IN WORKING ORDER ON THE FLOORS WHEN CONTRACT WORK IS IN PROGRESS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT CONSTRUCTION THAT IS TO REMAIN AND SHALL PATCH ANY CONSTRUCTION THAT IS DAMAGED DURING REMOVALS. ALL REPAIRS SHALL MATCH EXISTING ADJACENT CONSTRUCTION.
- CONTRACTOR SHALL CLEAN AND REMOVE ALL DEMO DEBRIS BEFORE THE NEXT WORKING BUSINESS DAY.
- DEMOLITION AND REMOVAL OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
- DEMOLITION SHALL BE DONE IN A NEAT WORKMAN LIKE MANNER, WITHIN THE LIMITS INDICATED ON THE DRAWINGS, AND IN ALL CASES, TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
- DO NOT MIX RUBBISH WITH THAT OF THE BUILDING OCCUPANTS. ALL REMOVALS SHALL BE COORDINATED WITH BUILDING MANAGER.
- ABIDE BY THE STANDARD RULES AND REGULATIONS SET FORTH BY THE BUILDING MANAGEMENT. G.C. SHALL NOTIFY OWNER AND/OR BUILDING MANAGEMENT OF NEED FOR ANY INTERRUPTIONS IN UTILITY SERVICE. NOTIFY OWNER AT LEAST 72 HOURS IN ADVANCE.
- EXISTING GLASS DOORS AND WINDOWS TO REMAIN. PROTECT DURING CONSTRUCTION.
- REMOVE AND REPOSITION CHECK DESK AND PENNY ARCADE TO EXTENT POSSIBLE AND FEASIBLE FOR REMOVAL AND REPLACEMENT OF FLOOR AND ADJACENT FINISHES.
- G.C. TO COORDINATE AND STAGE WORK SUCH THAT TD BANK OPERATIONS ARE NOT AFFECTED.
- REMOVE ALL NON-FUNCTIONING SECURITY DEVICES. CONFIRM WITH NAV THAT DEVICES ARE INACTIVE PRIOR TO REMOVAL.
- REMOVE ALL FIXTURES/CONTROLS SUCH AS THERMOSTAT CONTROLS, EMERGENCY EGRESS SIGNAGE, AND ALARMS, HVAC CEILING DEVICES/DIFFUSERS ETC. THAT ARE

DEMOLITION RCP KEYNOTES

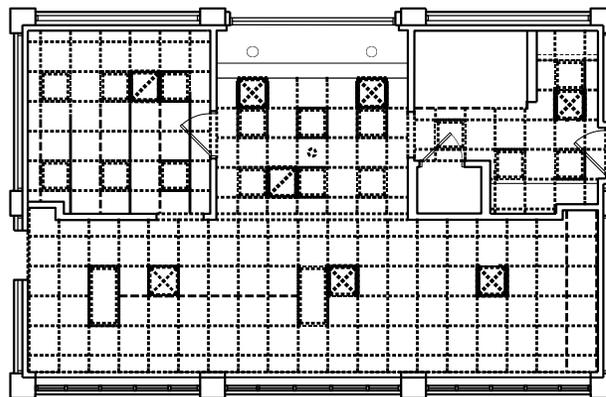
- REMOVE EXISTING PERFORATED HVAC SUPPLY AND RETURN REGISTERS.
- DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE. REFER TO E-101 FOR LIGHTING REPLACEMENT.
- REMOVE EXISTING ACT CEILING AND GRID IN ITS ENTIRETY.
- DISCONNECT AND REMOVE EXISTING DOWN LIGHT FIXTURE AND REPLACE WITH NEW 2'X2' ACT TO ACCOMMODATE NEW WAITING AREA LIGHTING DESIGN.
- DISCONNECT AND REMOVE EXISTING NON-FUNCTIONING SECURITY CAMERAS IN CSR PLATFORM.
- DISCONNECT AND REMOVE EXISTING WALL SCOFF.
- DISCONNECT AND REMOVE EXISTING EMERGENCY EXIT SIGN.

GENERAL DEMOLITION NOTES

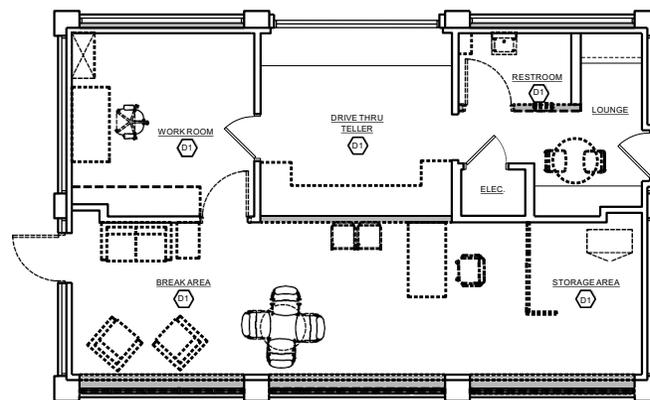
- REFER TO T-001 FOR PROJECT INFORMATION, REFER TO G-001 FOR LEGENDS AND ABBREVIATIONS.
- COORDINATE REMOVAL OF ITEMS TO BE SALVAGED, STORED, AND/OR PROTECTED FOR FUTURE USE WITH OWNER.
- PROVIDE AND MAINTAIN CARPET MATS IN FRONT OF ALL BASE BUILDING DOORWAYS TO BE USED BY CONSTRUCTION WORKERS FOR ACCESS.
- CARPET MATS SHALL BE LARGE ENOUGH TO PREVENT THE HAULING/SPREADING OF DIRT THROUGH THE BUILDING PREMISES.
- PROTECT EXISTING PERIMETER WINDOWS, WINDOW TRIM, FASCIAS AND SOFFITS UNLESS OTHERWISE NOTED.
- PROVIDE A MINIMUM OF TWO (2) 2.5LB FIRE EXTINGUISHERS APPROVED FOR "A", "B" AND "C" TYPE FIRES, TO BE LOCATED AT THE ENTRY/EXIT POINTS TO THE SITE. FIRE EXTINGUISHERS ARE TO REMAIN IN WORKING ORDER ON THE FLOORS WHEN CONTRACT WORK IS IN PROGRESS.
- THE CONTRACTOR SHALL PROTECT ALL ADJACENT CONSTRUCTION THAT IS TO REMAIN AND SHALL PATCH ANY CONSTRUCTION THAT IS DAMAGED DURING REMOVALS. ALL REPAIRS SHALL MATCH EXISTING ADJACENT CONSTRUCTION.
- CONTRACTOR SHALL CLEAN AND REMOVE ALL DEMO DEBRIS BEFORE THE NEXT WORKING BUSINESS DAY.
- DEMOLITION AND REMOVAL OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
- DEMOLITION SHALL BE DONE IN A NEAT WORKMAN LIKE MANNER, WITHIN THE LIMITS INDICATED ON THE DRAWINGS, AND IN ALL CASES, TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
- DO NOT MIX RUBBISH WITH THAT OF THE BUILDING OCCUPANTS. ALL REMOVALS SHALL BE COORDINATED WITH BUILDING MANAGER.
- ABIDE BY THE STANDARD RULES AND REGULATIONS SET FORTH BY THE BUILDING MANAGEMENT. G.C. SHALL NOTIFY OWNER AND/OR BUILDING MANAGEMENT OF NEED FOR ANY INTERRUPTIONS IN UTILITY SERVICE. NOTIFY OWNER AT LEAST 72 HOURS IN ADVANCE.
- EXISTING GLASS DOORS AND WINDOWS TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
- REMOVE AND REPOSITION CHECK DESK AND PENNY ARCADE TO EXTENT POSSIBLE AND FEASIBLE FOR REMOVAL AND REPLACEMENT OF FLOOR AND ADJACENT FINISHES.
- G.C. TO COORDINATE AND STAGE WORK SUCH THAT TD BANK OPERATIONS ARE NOT AFFECTED.
- REMOVE ALL NON-FUNCTIONING SECURITY DEVICES. CONFIRM WITH NAV THAT DEVICES ARE INACTIVE PRIOR TO REMOVAL.
- REMOVE SURFACE MOUNTED POWER STRIPS. CONFIRM REMOVAL WITH CM PRIOR TO

DEMOLITION PLAN KEYNOTES

- REMOVE EXISTING FLOOR FINISH TO CONCRETE SUB-FLOOR.
- REMOVE EXISTING FLOOR TILE AS INDICATED.
- REMOVE EXISTING WALL COVERING.
- REMOVE EXISTING WALL BASE.
- REMOVE EXISTING WALL TRIM.
- REMOVE AND RETAIN EXISTING DRIVE-THRU POWERWALL SIGN. REINSTALL AS INDICATED ON A-702.
- REMOVE EXISTING HR COMPLIANCE FRAMES.
- REMOVE EXISTING DOOR HARDWARE. COORDINATE WITH A-601.
- REMOVE EXISTING ANYWORK IN RESTROOMS.
- REMOVE EXISTING CUSTOMER CHAIR SEATING.
- REMOVE EXISTING EMPLOYEE TASK CHAIR SEATING.
- REMOVE EXISTING LOUNGE CHAIR SEATING.
- REMOVE EXISTING TELLER STOOLS.
- REMOVE EXISTING GUEST WAITING CHAIRS.
- REMOVE EXISTING TELLER LINE IN ITS ENTIRETY. SEE SHEET A-107 FOR NEW TELLER POOL FURNITURE CONFIGURATION.
- REMOVE EXISTING SANITARY NAPKIN DISPENSER.
- REMOVE EXISTING LOUNGE TABLE.
- REMOVE PORTION OF EXISTING CONCRETE SLAB TO ACCOMMODATE TRENCH TO NEW GREETER STATION. SEE E-102 FOR DETAILS.
- REMOVE EXISTING SMART BOARD.
- REMOVE EXISTING RECEPTACLE AND COVER PLATE.
- REMOVE EXISTING RETAIL MARKETING FIXTURE.
- REMOVE ALL EXISTING FURNITURE.
- REMOVE EXISTING BREAK AREA AND STORAGE AREA TO ACCOMMODATE NEW FULL SERVICE BANKING AREA.
- REMOVE POWER WALL BEHIND DRIVE THRU TELLER.
- REMOVE WALL AT RESTROOM TO ACCOMMODATE NEW ADA COMPLIANCE.



2 DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

CHARLESTON RENOVATION

TD BANK
586 East Bay Street
Charleston, SC 29403



B BERGMANN
ARCHITECTS ENGINEERS PLANNERS

Bergmann Architectural Associates, Inc.

1524 Delancey St.
Philadelphia, PA 19102

www.bergmannpa.com

REVISIONS		
NO.	DATE	DESCRIPTION

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Prepared by JCK	Checked by JCK
Drawn by CCR	AS INDICATED
Date 01/20/2020	
Sheet No. 012548.02	

CONSTRUCTION PLAN
EXTERIOR

A-102

NOTES:



BUILDING EXTENT

EXTERIOR GENERAL NOTES

- TRIM / PRUNE ALL TREES AND/OR SHRUBS INTERFERING WITH THE OPERATION AND/OR VIEW OF SITE LIGHTS, TRAFFIC SIGNS AND DIRECTIONAL SIGNS.
- REPLACE ALL BURNED OUT LAMPS
- ENSURE LAWN IRRIGATION SYSTEM IS IN PROPER WORKING OPERATION.
- CLEAN/REPAIR ALL SITE SIGNS THAT HAVE BEEN DAMAGED OR VANDALIZED.
- PAINT EXISTING FADED OR WEATHERED D.O.T. SIGNS.

SITE PLAN KEY NOTES

REFER TO NOTE ON PLAN

- POWER WASH EXISTING EXTERIOR OF BUILDING AND DRIVE-THRU STRUCTURE INCLUDING ALL MASONRY PIERS. CLEAN ALL EXISTING STOREFRONT GLASS. REFER TO SPECIFICATION FOR CLEANING AGENT AND SEALING TREATMENT.
- MULCH ALL LANDSCAPE BEDS SURROUNDING BUILDING AND PARKING. REPLACE ALL MISSING AND/OR DEAD PLANTINGS.
- INSTALL NEW PLANTINGS AROUND EXISTING PYLON SIGN TO MATCH EXISTING.
- SEAL AND RESTRIPE ALL PARKING AND DRIVE LANE AREAS.
- PREP AND PAINT EXISTING PYLON SIGN FRAME AND BASE TO MATCH EXISTING.
- REPLACE EXISTING SIGN WITH NEW SHIELD SIGN. MATCH EXISTING SIGN AREA.
- REPLACE EXISTING FLUORESCENT LAMPS IN EXISTING DRIVE-THRU "SKYLIGHT" FIXTURES WITH NEW LED LAMPS.
- PREP AND PAINT EXISTING DRIVE-THRU CANOPY CEILING P E1.
- PREP AND PAINT EXISTING SIGN FRAME AND BASE P E2.
- REPLACE EXISTING WEATHERED SIGN FACE WITH NEW TD STANDARD SIGN FACE.
- REPLACE WEATHERED SIGN FACE AT EXISTING PYLON SIGN WITH NEW SIGN FACE PER TD STANDARD.
- REPLACE EXISTING LAMPS AT EXISTING PYLON SIGN WITH NEW LED LAMPS PER TD STANDARD.
- PREP AND PAINT EXISTING UTILITIES AT BUILDING WALL.
- PREP AND PAINT EXISTING ENTRY CANOPY CEILING TO MATCH EXISTING.
- STRAIGHTEN EXISTING PARKING SIGNS.
- PAINT EXISTING H.C. PARKING SIGNS P E2.
- REPLACE EXISTING DEAD ARBORVITAE.
- INSTALL NEW TD STANDARD ILLUMINATED SHIELD SIGN. PROVIDE NEW ELECTRICAL. MATCH EXISTING SHIELD SIGN AREA AND MOUNTING HEIGHT. PROVIDE NEW POWER.
- PAINT EXISTING DOOR, FRAME, AND OVERHEAD LIGHT P E5.
- INSTALL NEW TD STANDARD BOLLARD COVERS TO EXISTING CONCRETE BOLLARDS. ALL BOLLARD HEIGHTS TO BE CONSISTENT. CONFIRM HEIGHT WITH ARCHITECT PRIOR TO ORDERING COVERS.

RELOCATE ADA PARKING SPACE FOR CODE COMPLIANCE, INCLUDING HANDICAPPED PARKING SIGN.

REPLACE ADA CURB RAMP FOR CODE COMPLIANCE.

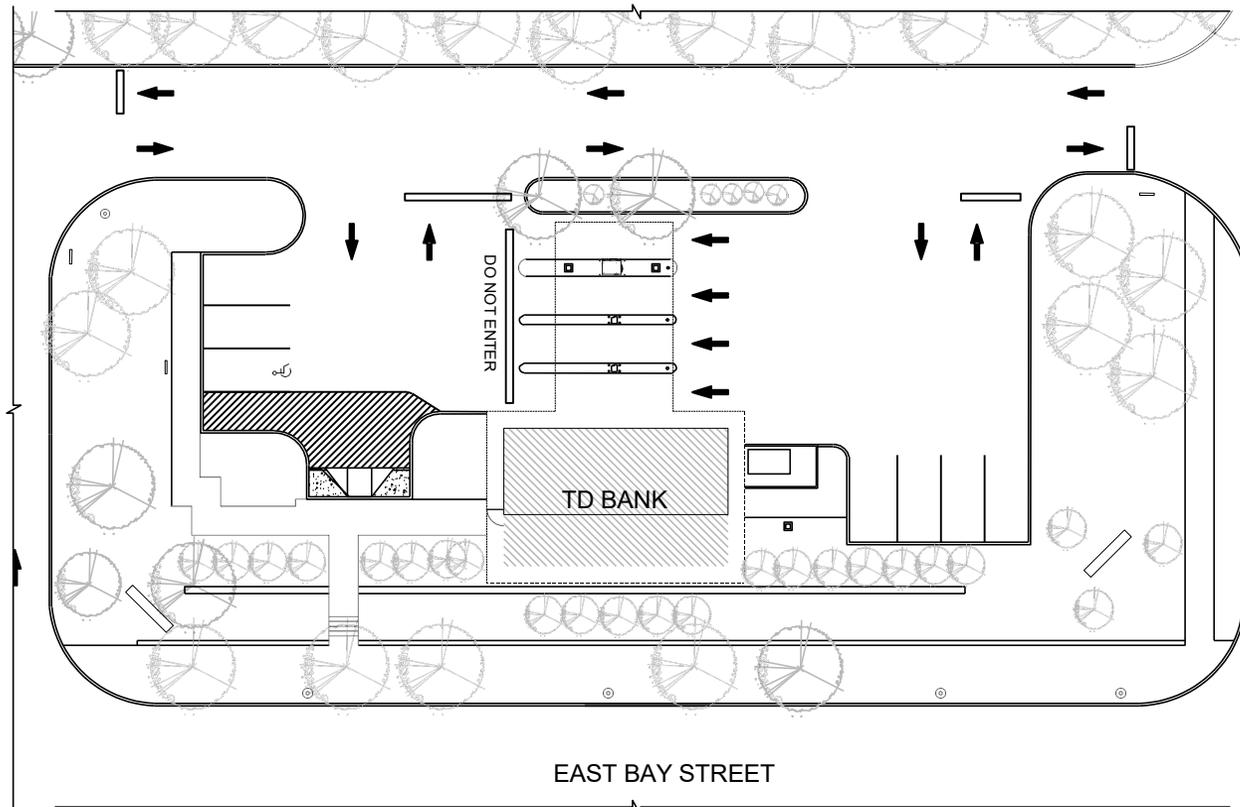
PAINT NEW ADA PATHWAY STRIPING FOR CODE COMPLIANCE.

SEAL AND RESTRIPE PARKING LOT FOR CLEARER DIRECTIONAL MARKINGS.

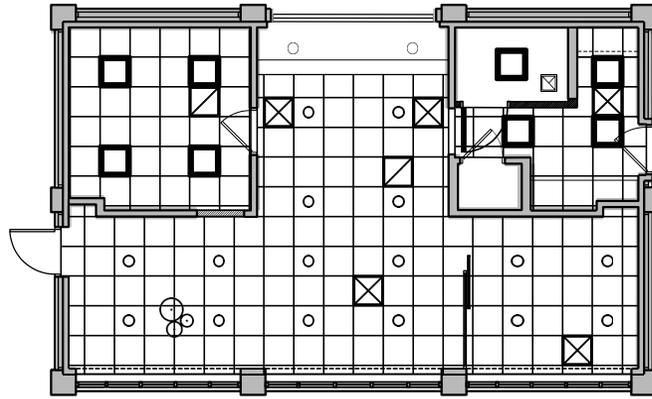
INSTALL NEW "TD SHIELD" BUILDING SIGNAGE. SEE PROPOSED ELEVATIONS.

INSTALL NEW BUILDING SCUNCES ON EXTERIOR PIERS.

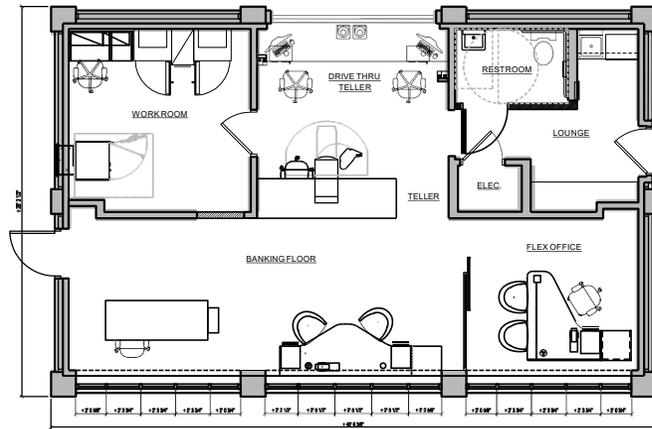
EXISTING STAFF ENTRANCE TO BECOME NEW PUBLIC ENTRANCE.



1 SITE PLAN
SCALE: 3/32"=1'-0"



2 CONSTRUCTION REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



1 CONSTRUCTION PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

- A. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES, AND ADA AND/OR OTHER HANDICAP ACCESSIBILITY CODES.
- B. ALL MEANS OF EGRESS AND FIRE PROTECTION SHALL BE MAINTAINED AT ALL TIMES AND COORDINATED IN ADVANCE WITH THE OWNER AND BUILDING DEPARTMENT.
- C. AS PART OF THIS CONTRACT, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OPENING AND CLOSING ALL CONSTRUCTION WITHIN AND OUTSIDE OF THE IMMEDIATE PROJECT SCOPE.
- D. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE UTILITIES INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- E. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- F. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF WORK.
- G. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT. THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC. VERIFICATION MUST BE DONE IN THE FIELD.
- H. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- I. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- J. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURE AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- K. REFER TO G-101 FOR ADDITIONAL INFORMATION AND LEGENDS.
- L. ALL PENETRATIONS SHALL RECEIVE SEALANT TO SEAL ANY TYPE OF ENERGY LOSS.
- M. CONTRACTOR SHALL CLEAN ALL EXISTING AND NEW SURFACES AFFECTED BY WORK AT THE END OF EACH WORKDAY.
- N. ALL WALLS ARE TO RECEIVE A MINIMUM LEVEL 4 FINISH.
- O. UPON COMPLETION OF PROJECT, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING NEW HVAC AIR FILTERS IN ALL EXISTING UNITS.
- P. REPLACE ALL FIXTURES/CONTROLS SUCH AS THERMOSTAT CONTROLS, EMERGENCY EGRESS SIGNAGE AND ALARMS, HVAC CEILING DEVICES/DIFFUSERS ETC. THAT ARE YELLOW TAGGED WITH A RED MARK.

CONSTRUCTION PLAN KEYNOTES

- REFER TO NOTE ON PLAN

1. PATCH, REPAIR, AND PREP WALLS TO RECEIVE SPECIFIED WALL FINISH AS NOTED ON A-106.
 2. INSTALL NEW MILLWORK COUNTERTOP WITH 1/2" LACK 3MM PVC EDGE.
 3. PROVIDE AND INSTALL NEW DOOR HARDWARE. COORDINATE WITH A-601.
 4. REPAIR/REFINISH EXISTING DAMAGED WOOD DOOR AND FRAME.
 5. PREP FLOOR TO RECEIVE SPECIFIED FLOOR FINISH AS NOTED ON A-106.
 6. PREP AND PAINT EXISTING DOOR AND FRAME. PAINT AS NOTED ON A-601.
 7. INFILL EXISTING SLIP INSERT AT ATM CHECK DESK WITH 1/2" NEW GRANITE.
 8. PROVIDE PLASTIC LAMINATE CAP AT PLANTER. EXISTING PLANTER DIMENSIONS TO BE VERIFIED IN FIELD PRIOR TO SHOP DRAWING SUBMITTAL.
 9. POLISH EXISTING GRANITE SURFACE.
 10. INSTALL NEW LCD MONITOR AS INDICATED ON A-107.
 11. PROVIDE NEW TABLE LAMPS. SEE A-107 FOR SPECIFICATIONS.
 12. REINSTALL EXISTING DRIVE THRU POWERWALL SIGN. REFER TO A-702 FOR DETAILS.
 13. CLEAN EXISTING WALL HEATER.
 14. SEAL AND RE-SECURE LOOSE RESTROOM FIXTURES.
 15. INSTALL NEW CONVENIENCE SHELF AT EXISTING CHECK DESK. SEE A-701 FOR DETAILS.
 16. PAINT EXISTING NIGHT DEPOSIT BOX AS INDICATED ON A-106.
 17. CUT NEW ACCESS PANEL IN GRANITE CHECK DESK. POLISH ALL CUT GRANITE EDGES. ACCESS PANEL TO BE 12X12" BLACK ABSOLUTE GRANITE TILE.
 18. INSTALL NEW ALUMINUM STOREFRONT AND DOORS. REFER TO A-601 FOR SPECIFICATIONS.
 19. INFILL EXISTING LCD AND RATEBOARD OPENING AND PREPARE WALL FOR NEW LCD MOUNTING AND FINISHES.
- INSTALL NEW STOREFRONT TO MATCH EXISTING CLERESTORY WINDOWS ABOVE.
- RECONFIGURE RESTROOM FOR ADA COMPLIANCE.
- PROVIDE FULL SERVICE BANKING FACILITY WITH TELLER, DRIVE THRU TELLER, GREETER, AND CUSTOMER SERVICE REPRESENTATIVES.
- INSTALL NEW FUTURE WALK-UP ATM.

WOOD REFINISHING NOTES

- A. EXISTING FINISHED WOOD DOOR FRAMES SHALL BE FILLED WITH APPROPRIATE FILLER WHERE GOUGED, SCRATCHED, OR CHIPPED. SAND SMOOTH, AND PRIME FOR FINISHING. REMOVE ALL EXISTING SIGNAGE PRIOR TO PREPARATION AND PAINTING OF DOORS.

CHARLESTON RENOVATION

TD BANK
586 East Bay Street
Charleston, SC 29403



B BERGMANN ARCHITECTS ENGINEERS PLANNERS

Bergmann Architectural Associates, Inc.

1524 Delancey St.
Philadelphia, PA 19102

www.bergmannpc.com

REVISIONS		
NO.	DATE	DESCRIPTION

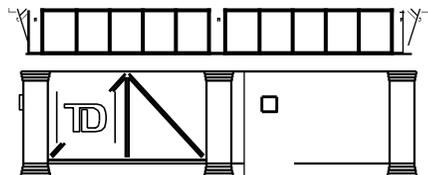
REV. CKD

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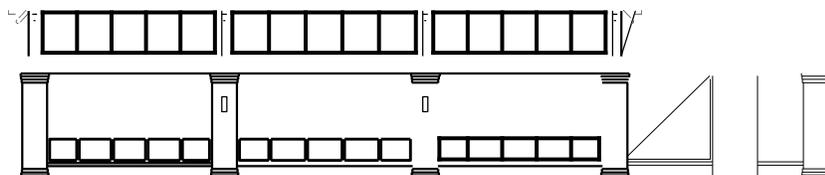
PROJECT NO.	JCK
DATE	01/20/2020
AS NOTED	AS NOTED
DATE	01/24/12

CONSTRUCTION PLAN

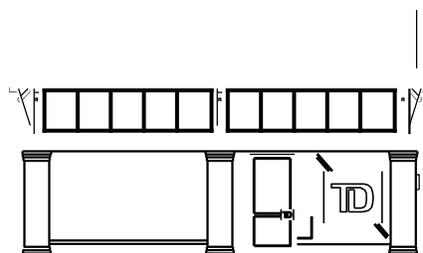
A-103



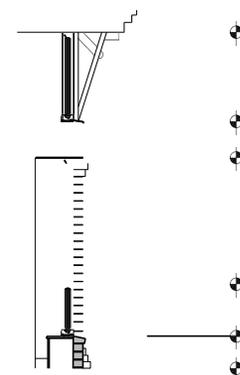
4 EXTERIOR ELEVATION - SOUTH
SCALE: 1/4"=1'-0"



3 EXTERIOR ELEVATION AT NEW STOREFRONT - WEST
SCALE: 1/4"=1'-0"



2 EXTERIOR ELEVATION AT NEW PUBLIC ENTRANCE - NORTH
SCALE: 1/4"=1'-0"



1 WALL SECTION
SCALE: 1/2"=1'-0"

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JCK
01/20/2020
012548.02

JCK
CCR
AS NOTED

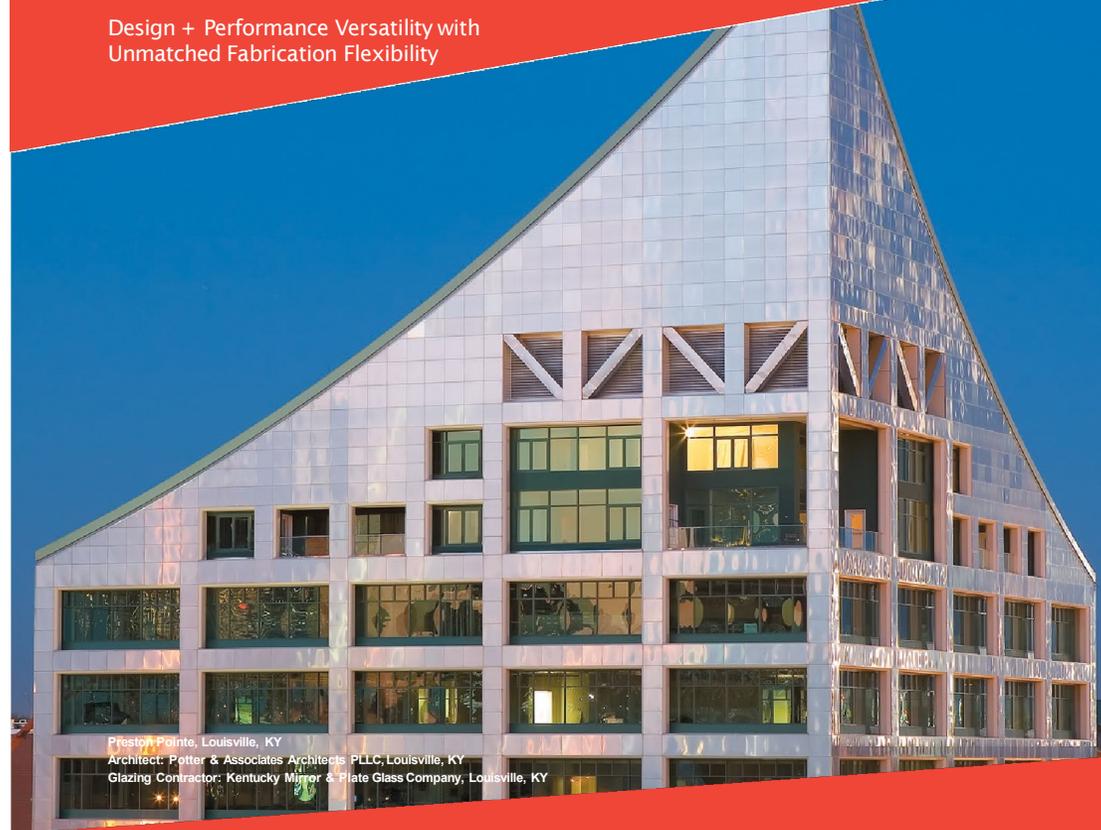
**EXTERIOR
ELEVATIONS**

A-503

Trifab™ VG (VersaGlaze™)

Trifab™ VG 450, 451 & 451T (Thermal) Framing Systems &
Trifab™ 451UT (Ultra Thermal) Framing System

Design + Performance Versatility with
Unmatched Fabrication Flexibility



Preston Pointe, Louisville, KY
Architect: Potter & Associates Architects PLLC, Louisville, KY
Glazing Contractor: Kentucky Mirror & Plate Glass Company, Louisville, KY

Trifab™ VersaGlaze™ is built on the proven and successful Trifab™ platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The Trifab™ VersaGlaze™ family's newest addition, Trifab™ 451UT (Ultra Thermal) framing system, is designed for the most demanding thermal performance and employs a "dual" Isolock™ Thermal Break.

Aesthetics

Trifab™ VersaGlaze™ framing systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone glazing (SSG) and Weatherseal glazing options further expand the designers' choices, allowing for a greater range of design possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth – Trifab™ VersaGlaze™ 450 has 1-3/4" sightlines, while Trifab™ VersaGlaze™ 451/451T and Trifab™ 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent™ visually frameless ventilators, Trifab™ VersaGlaze™ can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single source supplier.

Economy

Trifab™ VersaGlaze™ 450/451/451T framing systems offer four fabrication choices to suit your project (Trifab™ 451UT available as screw spline fabrication only):

- Screw Spline – for economical continuous runs utilizing two piece vertical members that provide the option to pre-assemble units with controlled shop labor costs and smaller field crews for handling and installation.
- Shear Block – for punched openings or continuous runs using tubular moldings with shear block clips that provide tight joints for transporting large pre-assembled multi-lite units.
- Stick – for fast, easy field fabrication. Field measurements and material cuts can be done when metal is on the job.
- Type B – Same fabrication benefits as shear block except head and sill run through.

All systems can be flush glazed from either the inside or outside. The Weatherseal option provides an alternative to SSG vertical mullions for Trifab™ VersaGlaze™ 450/451/451T. This ABS/ASA rigid polymer



Brighton Landing, Cambridge, MA
Architects: ADD Inc., Cambridge, MA
Glazing Contractors: Ipswich Bay Glass Company, Inc., Rowley, MA

extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, High-Performance (HP) Flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

For the Finishing Touch

Architectural Class I anodized aluminum finishes are available in clear and Permanodic™ color choices.

Painted finishes, including fluoropolymer, that meet AAMA 2605 are offered in many standard choices and an unlimited number of specially designed colors.

Solvent-free powder coatings add the green element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.

Performance

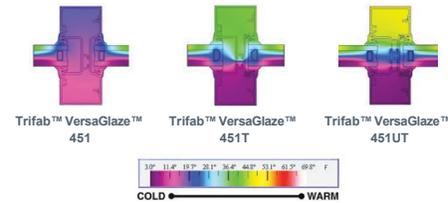
Kawneer's Isolock™ Thermal Break process creates a composite section, prevents dry shrinkage and is available on Trifab™ VersaGlaze™ 451T. For even greater thermal performance, a "dual" Isolock™ Thermal Break is used on Trifab™ 451UT.



Trifab™ 451UT uses a "dual" Isolock™ Thermal Break (right) and features a new HP (High Performance) sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

U-factor, CRF values and STC ratings for Trifab™ VersaGlaze™ vary depending upon the glass plane application. Project specific U-factors can be determined for each individual project. (See the Kawneer Architectural Manual or Kawneer.com for additional information).

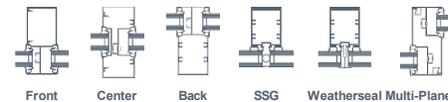
Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E 283
Water	AAMA 501, ASTM E 331
Structural	ASTM E 330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E 1425

Trifab™ VersaGlaze™ 450/451/451T glazing options
(note: Trifab™ 451UT available as center set glass plane only).



Kawneer Company, Inc.
Technology Park / Atlanta
555 Guthridge Court
Norcross, GA 30092

kawneer.com
770. 449. 5555

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KAWNEER
AN ARCONIC COMPANY

Cylinder 12" Wall Light Architectural Bronze
9244AZ (Architectural Bronze)

Project Name: _____
Location: _____
Type: _____
City: _____
Comments: _____



Certifications/Qualifications

Location Rating Damp
www.kichler.com/warranty

Dimensions

Base Backplate 5.00 X4.75
Extension 7.00"
Weight 1.65LBS
Height from center of Wall opening (SpecSheet) 6.00"
Height 12.00"
Width 4.75"

Mounting/Installation

Interior/Exterior Exterior
Mounting Style Wall Mount
Mounting Weight 1.65LBS

Primary Lamping

Lamp Included Not Included
Lamp Type BR30
Light Source Incandescent
Max. or Nominal Watt 60W
of Bulbs/LED Modules 2
Socket Type Medium
Socket Wire 150

Product/Ordering Information

SKU 9244AZ
Finish Bronze
Style Contemporary
UPC 783927924443

Specifications

Material ALUMINUM

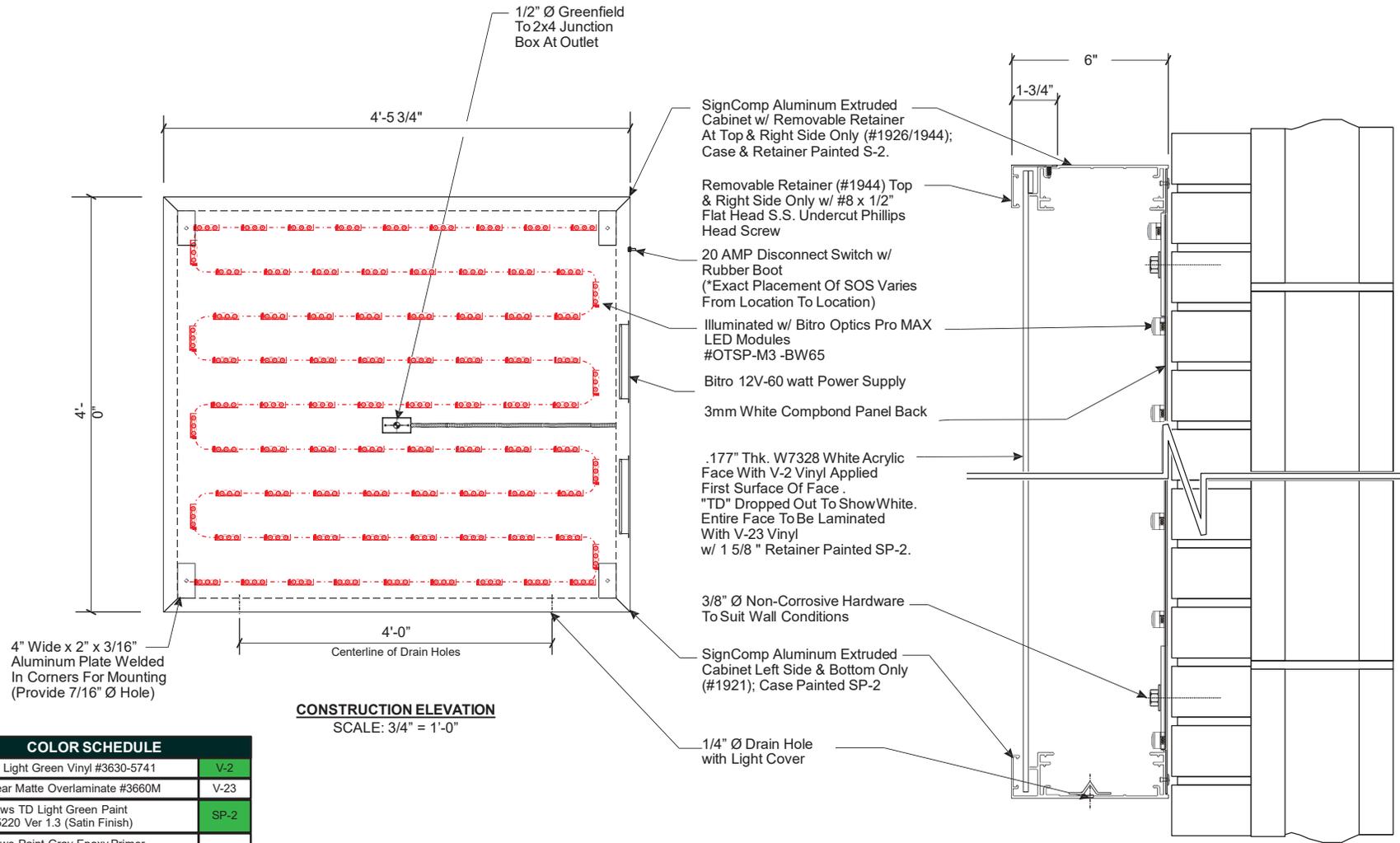
Additional Finishes

-  Architectural Bronze
-  Black
-  Brushed Aluminum
-  White

Kichler
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010
Toll free: 866.538.5706 or kichler.com

Notes:
1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.
2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

KICHLER®



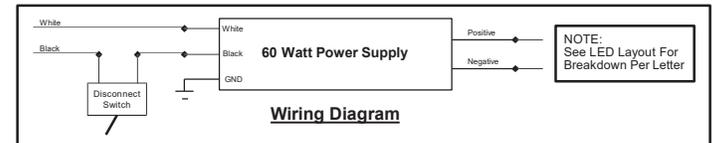
CONSTRUCTION ELEVATION
SCALE: 3/4" = 1'-0"

CROSS SECTION
SCALE: 3" = 1'-0"

COLOR SCHEDULE	
3M TD Light Green Vinyl #3630-5741	V-2
3M Clear Matte Overlaminate #3660M	V-23
Matthews TD Light Green Paint #MP65220 Ver 1.3 (Satin Finish)	SP-2
Matthews Paint Gray Epoxy Primer # 274528SP	SP-8
ELECTRICAL SCHEDULE	
Electrical Load	1.16Amps @ 120 Volts
Electrical Requirements	(1) 20 Amp/120 Volt Circuits
STANDARD WALL SIGN NOTES	
1.	Sufficient Primary Circuit in Vicinity of Sign by Others.
2.	Final Primary Hook-up by Sign Installer, Where Allowed by Local Codes.
3.	Sign Shall be U.L. Listed.

LABEL PLACEMENT INSTRUCTIONS	
1.	U.L. Labels Should be Placed on Side of Signs Next to Shut Off Switch so They are Visible for the Local Inspector or Authority Having Jurisdiction During Final Inspection.
NEC ELECTRICAL NOTE	
1.	This sign is intended to be installed in accordance with the requirements of Article 600 of the National

(82) Bitro Optics Pro MAX Bright White LEDs Powered By
(2) Bitro 12V-60 watt Power Supplies @ 0.58 AMPS Each
Max (45) Modules per 60 Watt Power Supply



CLIENT:	TD BANK
SIGN CODE:	
SIGN NUMBER:	TD-1S.0005
LOCATION:	VARIOUS
DATE:	10/25/17
DRAWN BY:	RVR
SHEET:	2 OF 3
DWG NUMBER:	B758 18
TD COP PAGE NUMBER:	B.06
REVISION:	
Number:	
By:	
Da:	
te:	
THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY PSCD. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU BY PSCD. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE USED, COPIED, REPRODUCED, OR EXHIBITED IN ANY FASHION.	

Agenda Item #13

45 HASELL STREET

TMS # 458-05-01-062

Request conceptual approval for renovations including storefront replacement, removal of brick infill, new entry door, and the installation of exterior stair at rear.

Category 4 / (Ansonborough) / c. 1851 / Old and Historic District

BEAU CLOWNEY ARCHITECTS

PROPOSED
ADDITIONS AND ALTERATIONS

TO

C. W. SEIGNIOUS BUILDING

45 HASSELL STREET, C. 1851

WITHIN

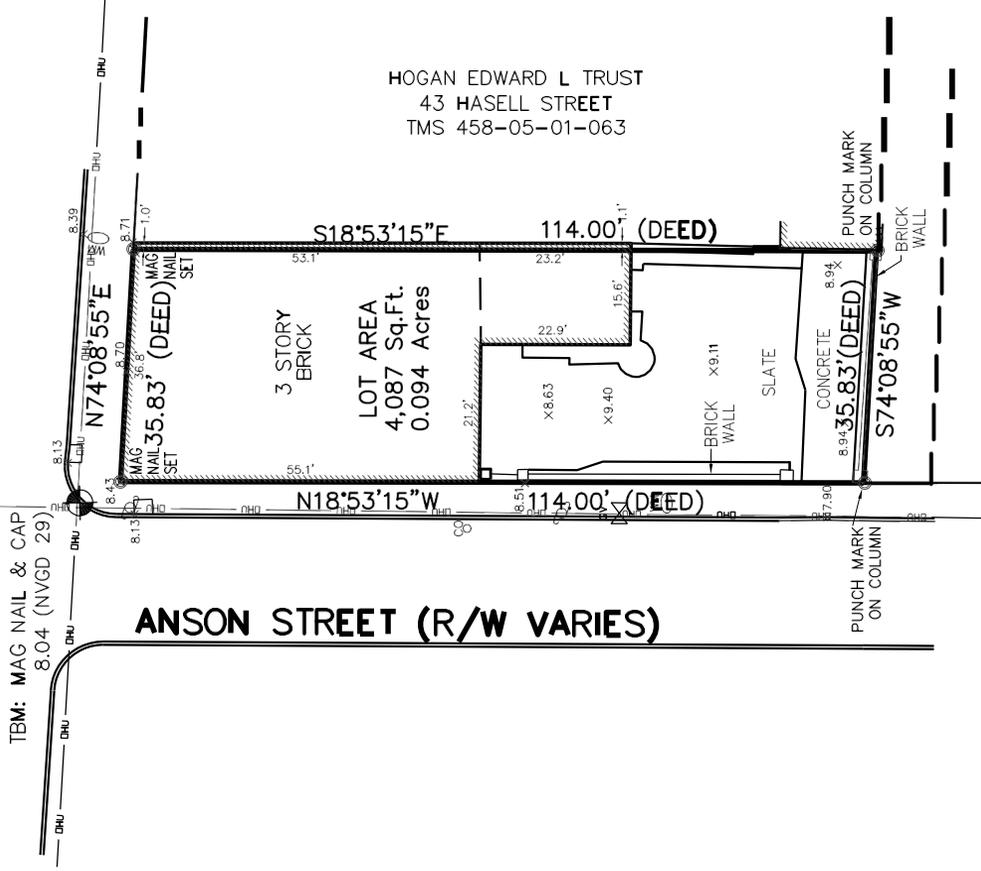
ANSONBOROUGH NEIGHBORHOOD

CHARLESTON, SC

DECEMBER 23, 2019

ONE KING STREET SUITE 102 CHARLESTON SC 29401
PH 843.722.2040 + FX 843.853.2642

**HASELL STREET
(R/W VARIES)**



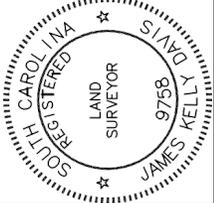
HOGAN EDWARD L TRUST
43 HASELL STREET
TMS 458-05-01-063

NOTES & REFERENCES:

1. REFERENCE DEED RECORDED IN THE CHARLESTON CO. R.O.D. OFFICE IN BOOK 0810 AT PAGE 762.
2. THIS SURVEY DOES NOT REFLECT A TITLE SEARCH AND IS BASED ENTIRELY ON THE ABOVE REFERENCED DOCUMENT(S). ANY EASEMENTS OR ENCUMBRANCES OF RECORD NOT SHOWN ON THE REFERENCE PLAT MAY NOT BE SHOWN ON THIS SURVEY.
3. CERTIFICATION IS TO THE PARTY/PARTIES FOR WHOM THIS SURVEY WAS PREPARED AND IS NOT TRANSFERABLE TO ANY OTHER INSTITUTIONS OR INDIVIDUALS.
4. AS PER FEMA FIRM 45019C PANEL 0516J, WITH AN EFFECTIVE DATE OF NOV. 17, 2004, SUBJECT PARCEL IS IN FLOOD ZONE AE (13). DUE TO ONGOING FLOOD STUDIES, FLOOD ZONES ARE SUBJECT TO CHANGE. IT IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER TO VERIFY FLOOD ZONE PRIOR TO ANY PERMITTING/DISTURBANCE.
5. VERTICAL DATUM REFERENCED TO NGVD 29.

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ROAD RIGHT-OF-WAY LINE
- PROPERTY CORNER FOUND
- PROPERTY CORNER SET
- OVERHEAD UTILITY
- UTILITY POLE
- SEWER CLEANOUT
- WATER METER
- WATER VALVE
- SPOT ELEVATION (NGVD 29)



GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN, ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

**GENERAL SURVEY
30 1/2 ANSON & 45 HASELL**

TMS 458-05-01-062
45 HASELL STREET
CITY OF CHARLESTON
CHARLESTON COUNTY, SC

BEING PREPARED FOR:

45 HASELL STREET LLC

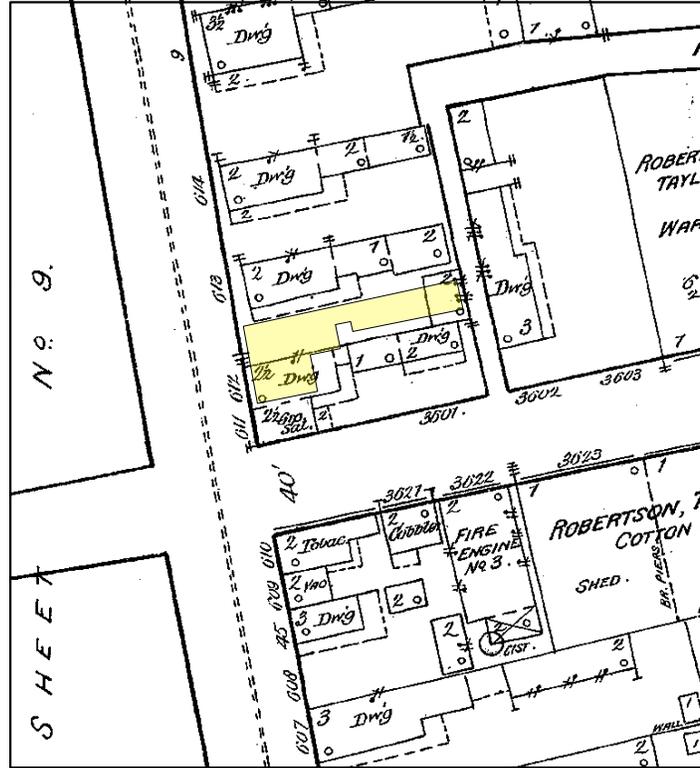
DATE: DEC. 3, 2019 SCALE: 1" = 20'

ATLANTIC SURVEYING, INC.

1058 GARDNER ROAD
P.O. BOX 30604
CHARLESTON, SOUTH CAROLINA 29417
PHONE (843)763-6669 FAX (843)766-7411

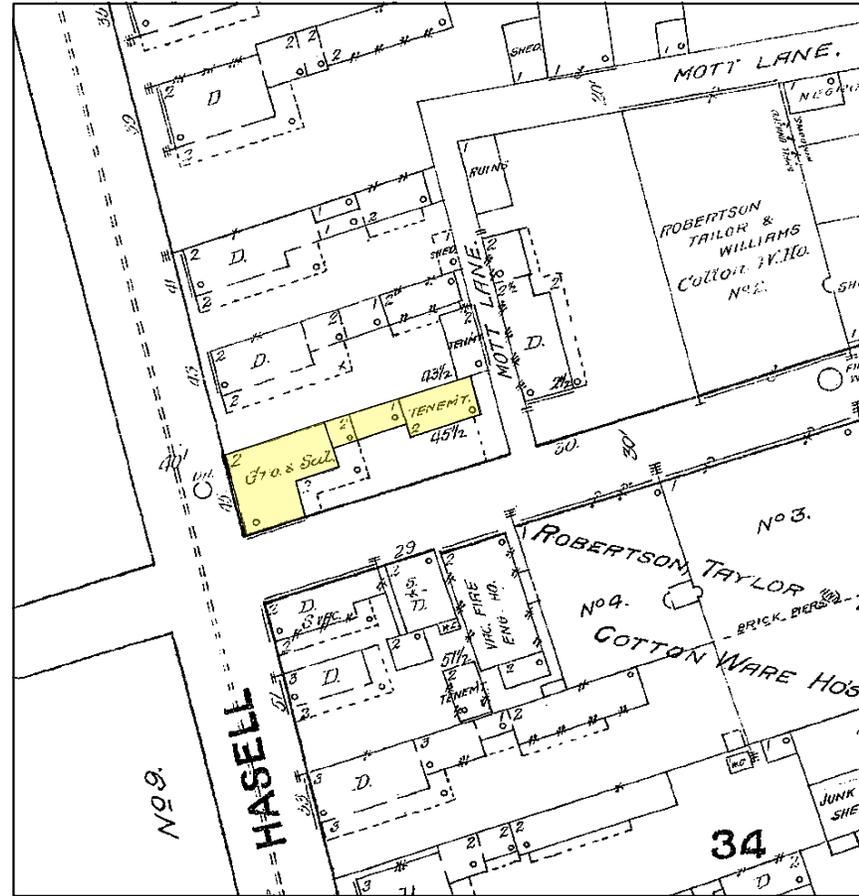
JAMES KELLY DAVIS, R.L.S. No. 9758

JOB #21587



1884

45 HASELL STREET
HISTORIC SANBORN MAPS

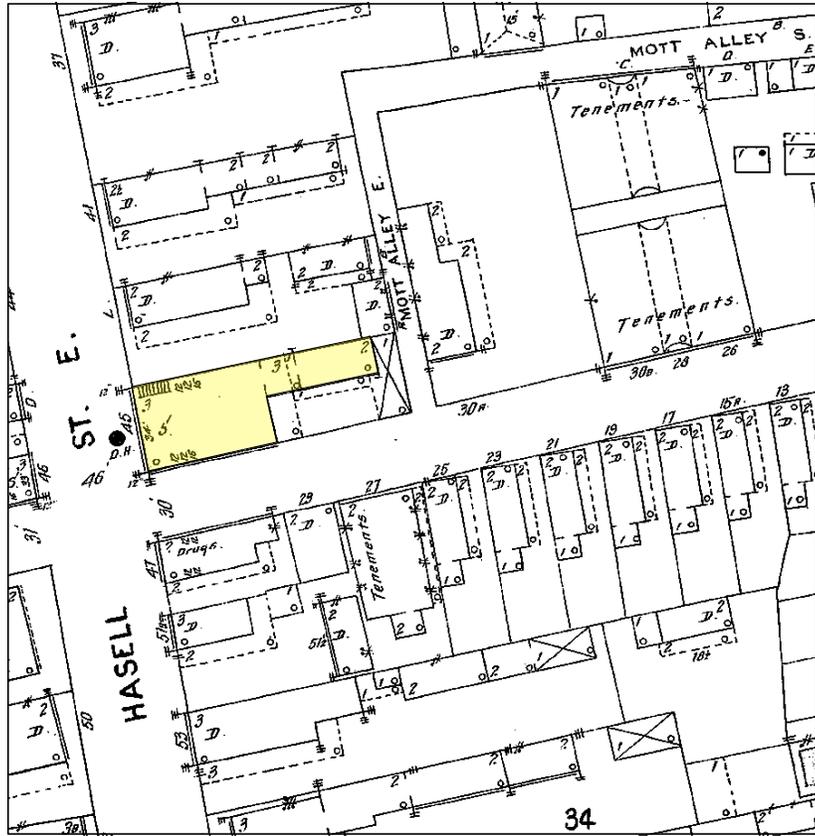


1888

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BRADSHAW RESIDENCE
45 HASELL STREET
CHARLESTON, SC
SANBORN MAPS
NTS
12.23.19



1902



1902-1951

45 HASELL STREET
HISTORIC SANBORN MAPS

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C L O W N E Y
a r c h i t e c t s

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45 HASELL STREET
BIRD'S EYE VIEW FROM THE SOUTHEAST

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BIRD'S EYE VIEW N
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45 HASELL STREET
BIRD'S EYE VIEW FROM THE SOUTHWEST

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CHARLESTON, SC
BIRD'S EYE VIEW N
TS
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45 HASELL STREET
BIRD'S EYE VIEW FROM THE NORTHEAST

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CHARLESTON, SC
BIRD'S EYE VIEW N
TS
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45 HASELL STREET
BIRD'S EYE VIEW FROM THE NORTHWEST

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45 HASELL STREET
CHARLESTON, SC
BIRD'S EYE VIEW N
TS
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45 HASELL
VIEW FROM HASELL STREET

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C. LOWNEY
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BRADSHAW RESIDENCE
45 HASELL STREET
CHARLESTON, SC
EXISTING
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45 HASELL
EXISTING BRICK INFILL AT HISTORIC DOORWAY

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45 HASELL STREET
CHARLESTON, SC
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45 HASELL
VIEW OF STOREFRONT ON HASELL

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45 HASELL STREET
CHARLESTON, SC
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45 HASELL
STOREFRON ON ANSON STREET
WITH EVIDENC OF BRACKET LOCATION IN STUCCO

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CHARLESTON, SC
EXISTING
NTS
12.23.19



45 HASELL
VIEW FROM ANSON STREET

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BRADSHAW RESIDENCE
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EXISTING
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45 HASELL
VIEW FROM COURTYARD

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BRADSHAW RESIDENCE
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45 HASELL
EXISTING BALCONY, ROOF DECK AND FENESTRATION

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45 HASELL
EXISTING RAIL AT REAR BALCONY

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45 HASELL
VIEW FROM ROOF DECK OF EXISTING PARAPET WALL AND RAIL

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CHARLESTON, SC
EXISTING
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45 HASELL
EXISTING AWNING AT NON ORIGINAL DOOR IN REAR COURTYARD

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45 HASELL
ORIGINAL INTERIOR DOOR AND PANEL DETAIL



45 HASELL
MOST LIKELY ORIGINAL STOREFRONT
WITH BRACKETED AWNING
AT THE GREAT A&P TEACO. (DEMOLISHED)



45 HASELL
ENLARGED DETAIL
OF ORIGINAL VICTORIAN BRACKET

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HISTORICPHOTO
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45 HASELL
NON-ORIGINAL STOREFRONT
AT LUCKY DOLLAR GROCERY STORE (DEMOLISHED)
REAR PORCH IN BACKGROUND (DEMOLISHED)

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45 HASELL STREET
CHARLESTON, SC
EXISTING
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00.00.00



45 HASELL
REAR PORCH (DEMOLISHED)

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45 HASELL
EXTERIOR REAR STAIR (DEMOLISHED)

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CHARLESTON, SC
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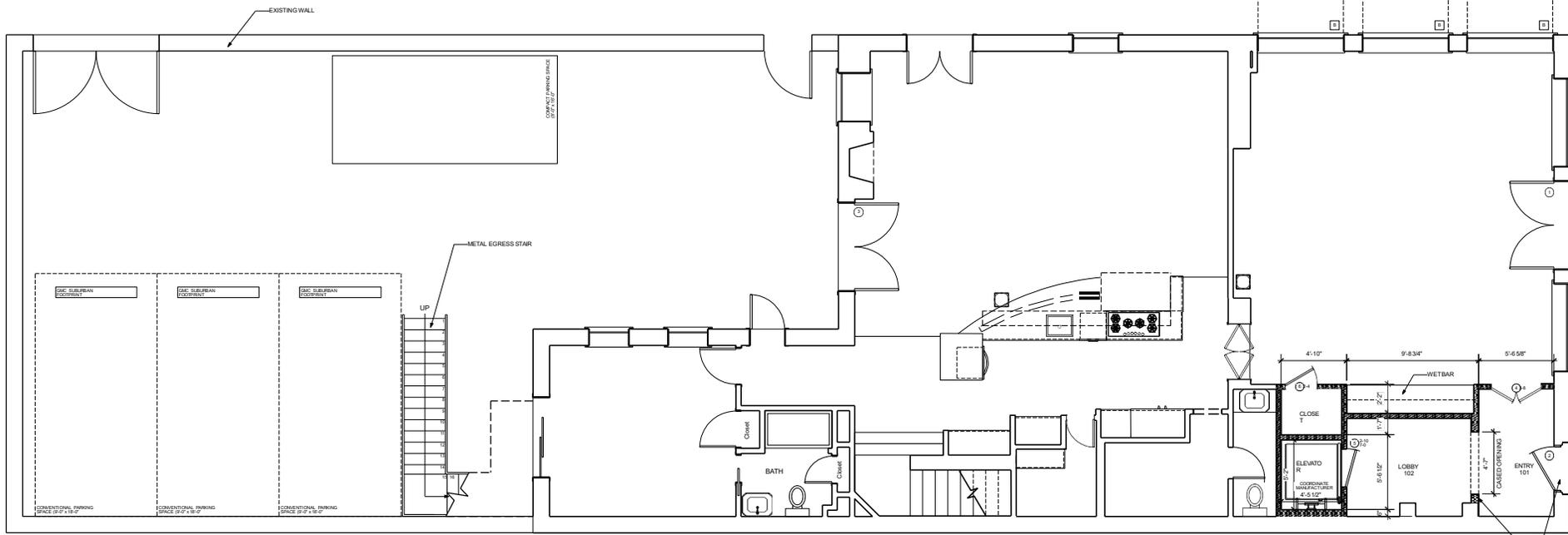
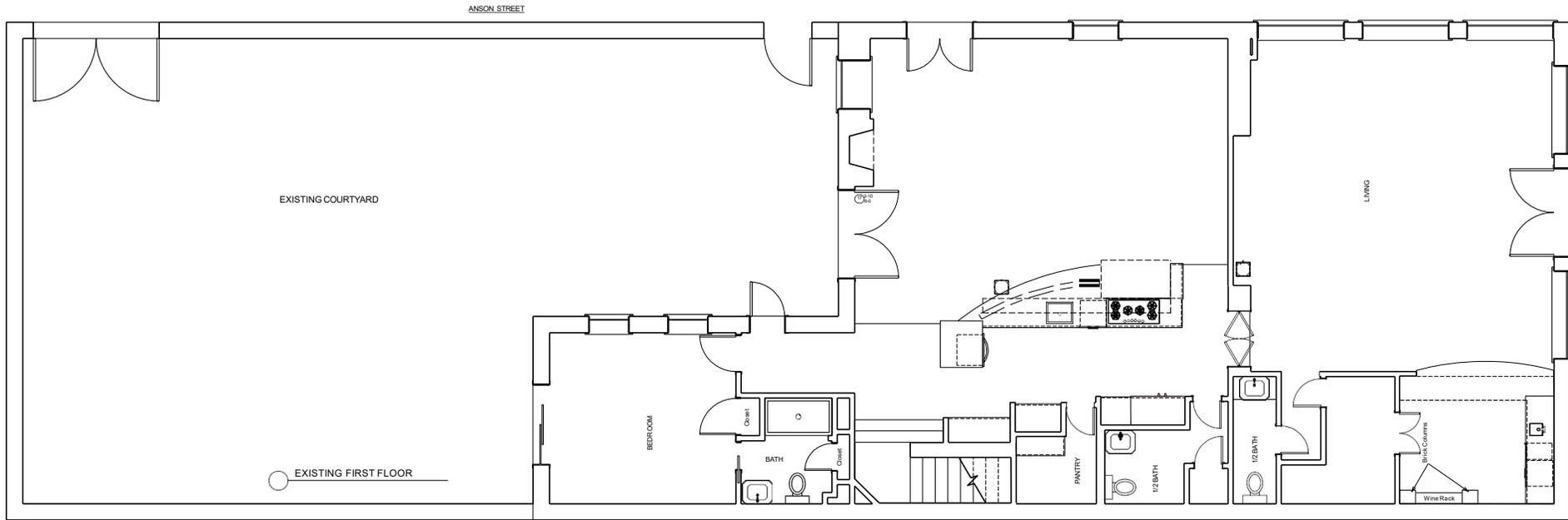


CORNER STORE CASE STUDY
WITH OPERABLE DOOR TO LEFT OF STOREFRONT
AND INFORMAL REAR PORCH

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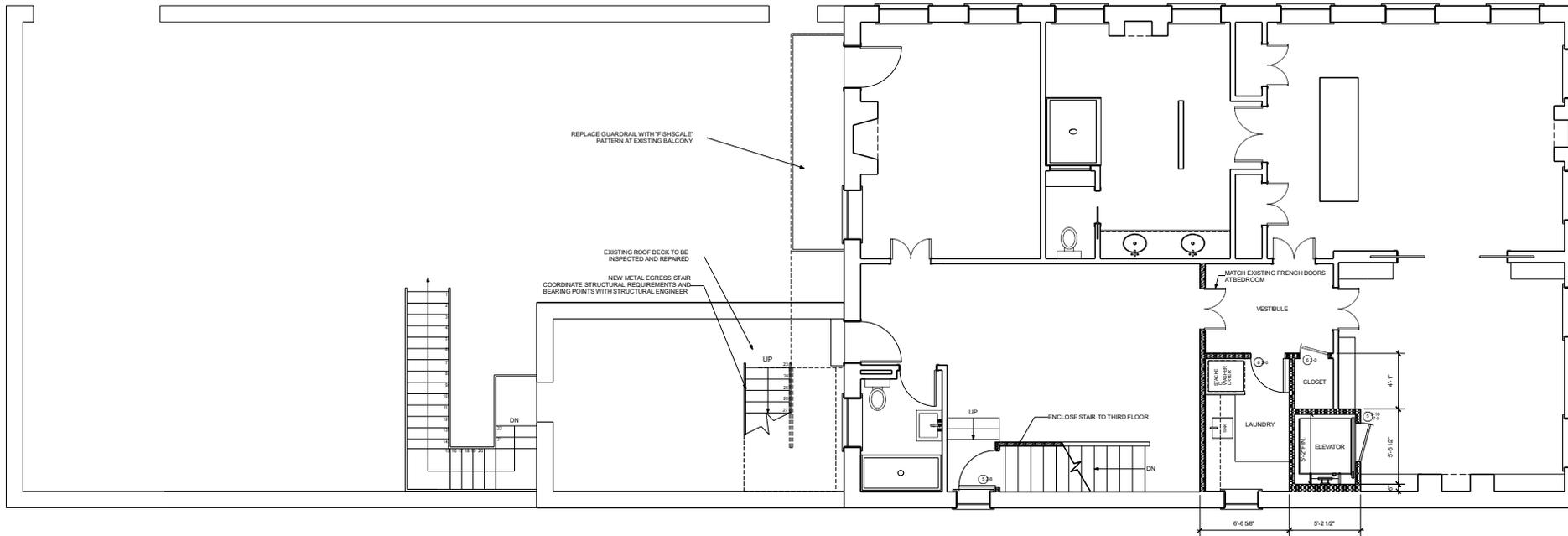
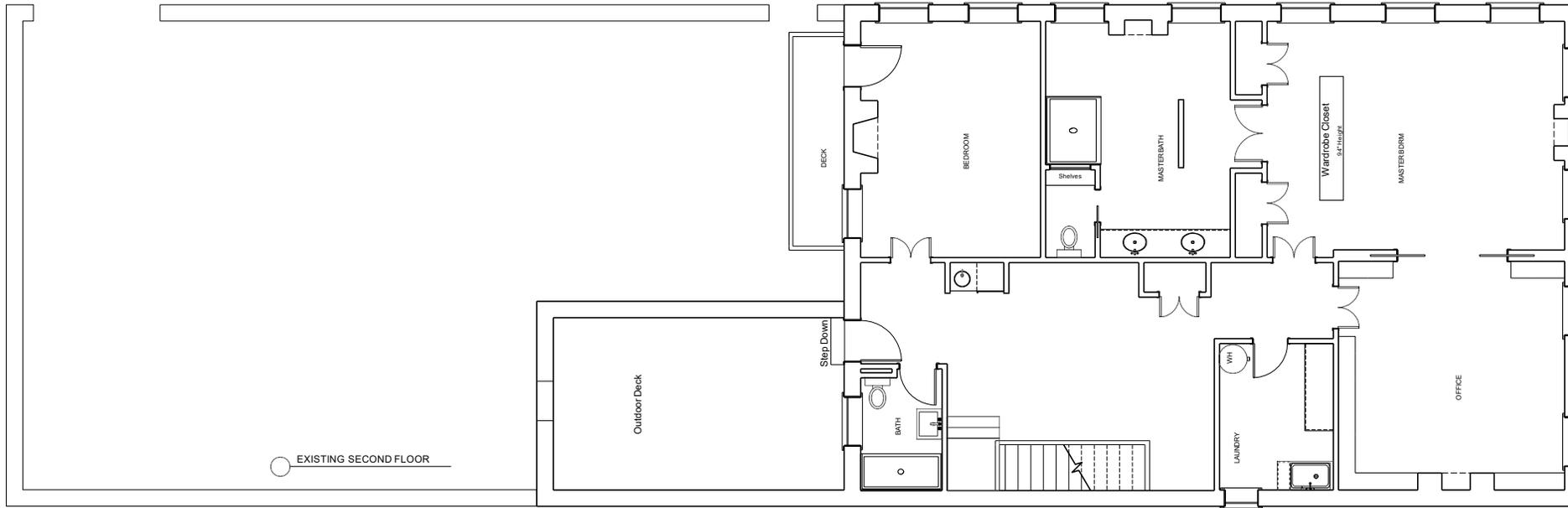
BRADSHAW RESIDENCE
45 HASELL STREET
CHARLESTON, SC
HISTORIC PHOTO
NTS
12.23.19



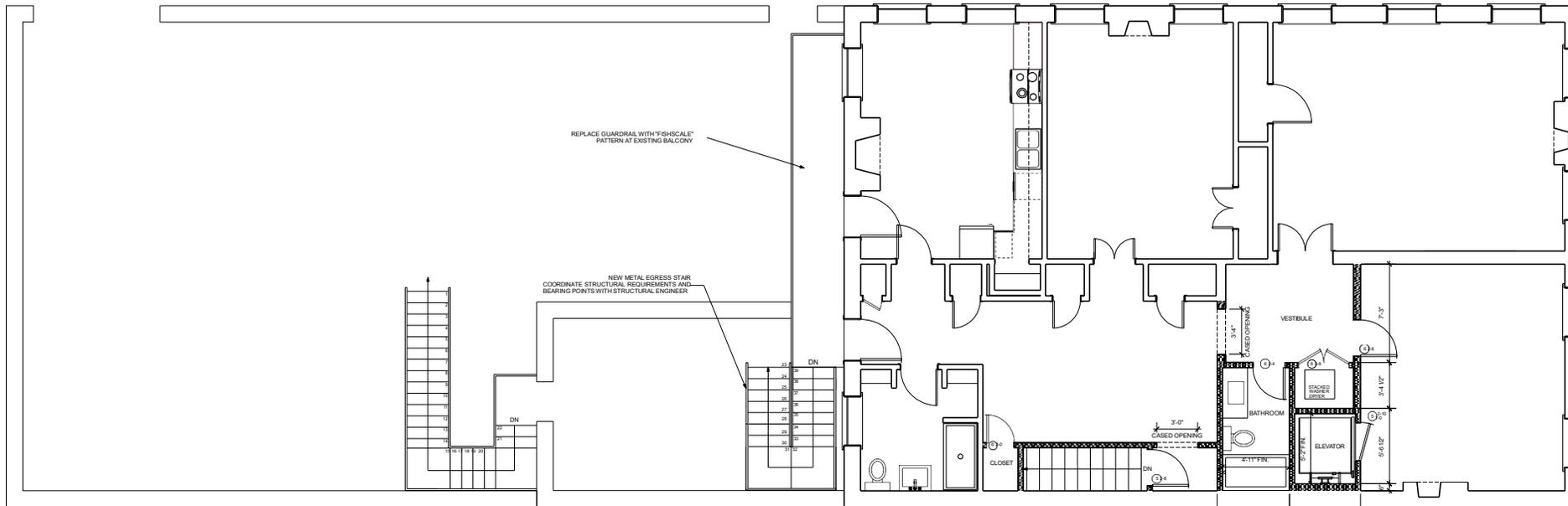
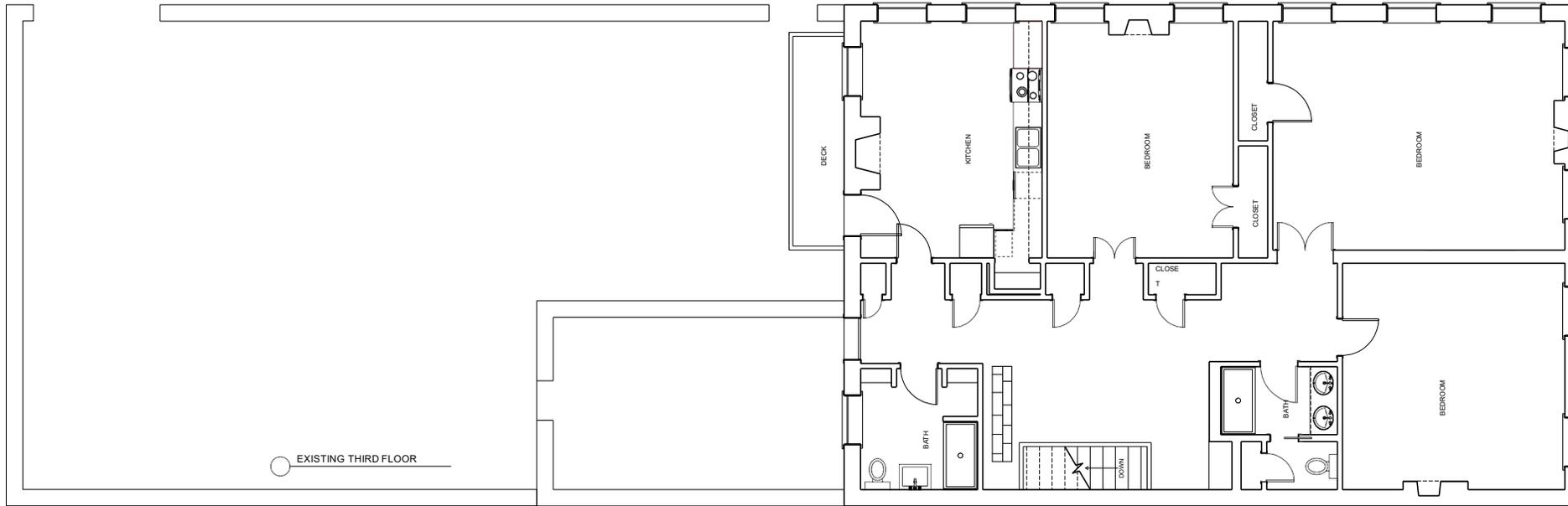
NOTE: DIMENSIONS SHOWN ARE FROM FACE OF STUD UNLESS NOTED OTHERWISE

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BRADSHAW RESIDENCE
45 HASELL STREET
CHARLESTON, SC
FIRST FLOOR PLAN 1
1/8" = 1'-0"
12.23.19



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BRADSHAW RESIDENCE
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CHARLESTON, SC
SECOND FLOOR PLAN 1
1/8" = 1'-0"
12.23.19



PROPOSED THIRD FLOOR

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 BRADB & VOORSCIENCE
 45 HAZELBERRY EY
 CHARLESTON, SC
 THIRD FLOOR PLAN 1
 1/8" = 1'-0"
 08.22.09



EXISTING HASELL STREET ELEVATION



PROPOSED HASELL STREET ELEVATION

B E A U
C L O W N E Y
a r c h i t e c t s
8 4 3 . 7 2 2 . 2 0 4 0

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45 HASELL STREET
CHARLESTON, SC
EXTERIOR ELEVATION
1/4" = 1'-0"
12.23.19



EXISTING ANSON STREET ELEVATION

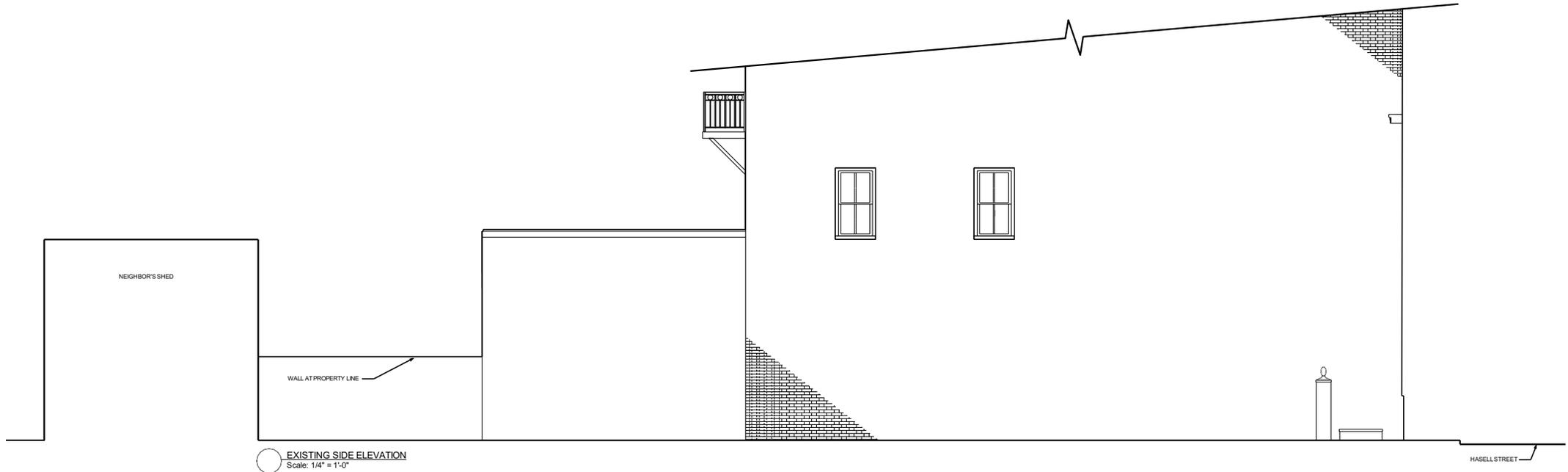


SOLID, RAISED PANEL WOOD SHUTTER

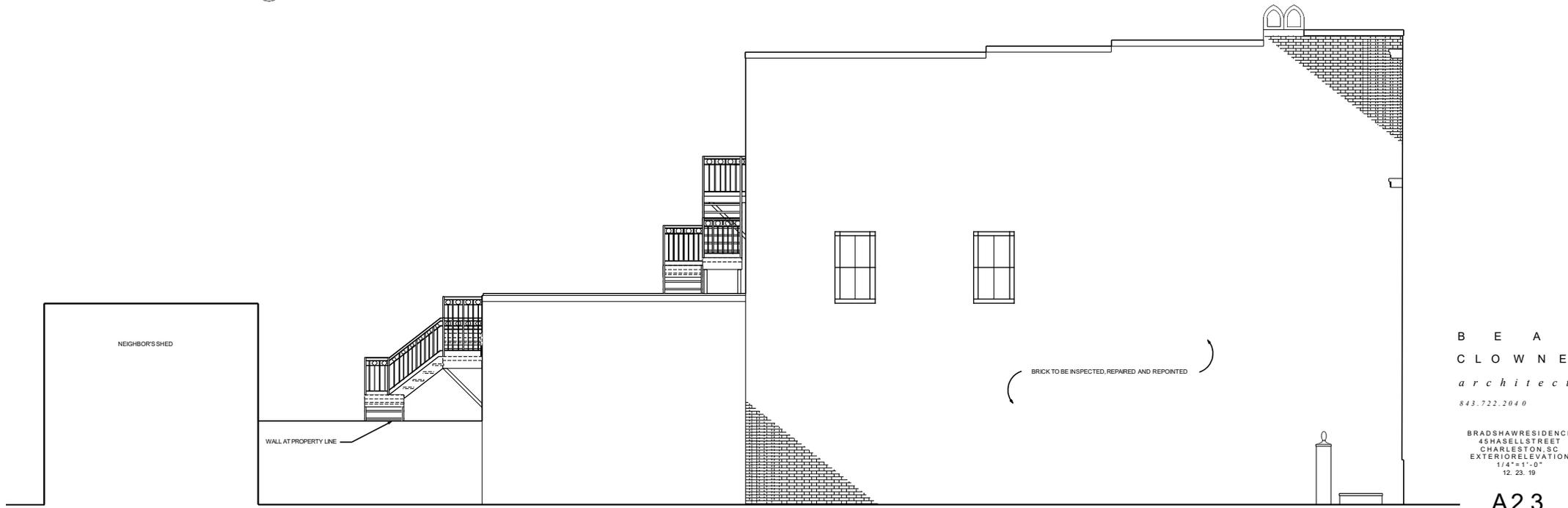
PROPOSED ANSON STREET ELEVATION

WALL AT STREET NOT SHOWN FOR CLARITY

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BRADSHAW RESIDENCE
45 HASSELL STREET
CHARLESTON, SC
EXTERIOR ELEVATION
1/4" = 1'-0"
11.19.19



EXISTING SIDE ELEVATION
Scale: 1/4" = 1'-0"



PROPOSED SIDE ELEVATION
Scale: 1/4" = 1'-0"

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BRADSHAW RESIDENCE
45 HASELL STREET
CHARLESTON, SC
EXTERIOR ELEVATION
1/4" = 1'-0"
12.23.19

A2.3



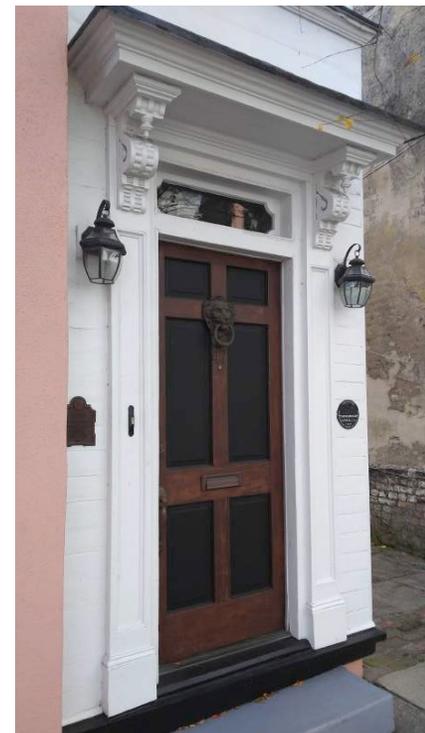
EXISTING ELEVATION



PROPOSED ELEVATION

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8 4 3 . 7 2 2 . 2 0 4 0

BRADSHAW RESIDENCE
45 HASSELL STREET
CHARLESTON, SC
EXTERIOR ELEVATION
1/4" = 1'-0"
12.23.19



BRACKET AND AWNING PRECEDENT
NEIGHBORING HOUSES WITHIN ANSONBOROUGH

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BRACKET AND AWNING PRECEDENT
MEETING STREET AND KING STREET STOREFRONT

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FABRIC AWNING PRECEDENT
TUCKER PAYNE ANTIQUES
KING STREET STOREFRONT

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45 HASSELL STREET
CHARLESTON, SC
CASE STUDY
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EXTERIOR METAL STAIR PRECEDENT
MEETING AND TRADD STREET

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45 HASSELL STREET
CHARLESTON, SC
CASE STUDY
NTS
12.23.19



EXTERIOR METAL STAIR PRECEDENT
BACK OF STOREFRONT BUILDINGS ON BROAD
SEEN FROM ELLIOT STREET

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C. L O W N E Y

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BRADSHAW RESIDENCE
45 HASELL STREET
CHARLESTON, SC

CASE STUDY
NTS
12.23.19



EXTERIOR METAL STAIR PRECEDENT
BACK OF STOREFRONT BUILDINGS ON BROAD
SEEN FROM ELLIOT STREET

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architects

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BRADSHAW RESIDENCE
45 HASSELL STREET
CHARLESTON, SC
CASE STUDY
NTS
12.23.19

Agenda Item #14

32 CHARLOTTE STREET
TMS # 459-13-01-100

Request final approval for new garden hardscape including brick fountain pool, iron driveway gate, and installation of garden steps per historic documentation.

Category 2 / (Mazyck-Wraggborough) / c.1820 / Old and Historic District

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The Gramling Residence *garden construction plans*

32 Charlotte Street
Charleston, South Carolina

Sheet Listing:

- 1 of 8 Preliminary Proposed Plan
- 2 of 8 Demolition Plan
- 3 of 8 Layout Plan
- 3-B of 8 Enlarged Layout Plan
- 4 of 8 Masonry Details
- 5 of 8 Existing Front Piazza Detail
- 6 of 8 Proposed Front Piazza Detail
- 7 of 8 Existing Driveway Gate Detail
- 8 of 8 Proposed Driveway Gate Detail

Contractors' Certification and Agreement to Terms of Drawings

Signature of contractors below certifies full understanding of and intent to comply with all included drawings, details, notes, lists and terms as issued by the office of Glen R. Gardner Landscape Architect, LLC.

Landscape and Irrigation contractor

Masonry and Hardscape contractor

Landscape Lighting contractor

Fence contractor

Carpentry contractor

GLEN R. GARDNER, LANDSCAPE ARCHITECT
OFFICE: 770.395.4200
CELL: 770.395.4202
FAX: 770.395.4200
www.glenr.com



Date: 10/24/16
Rev: 10/24/16

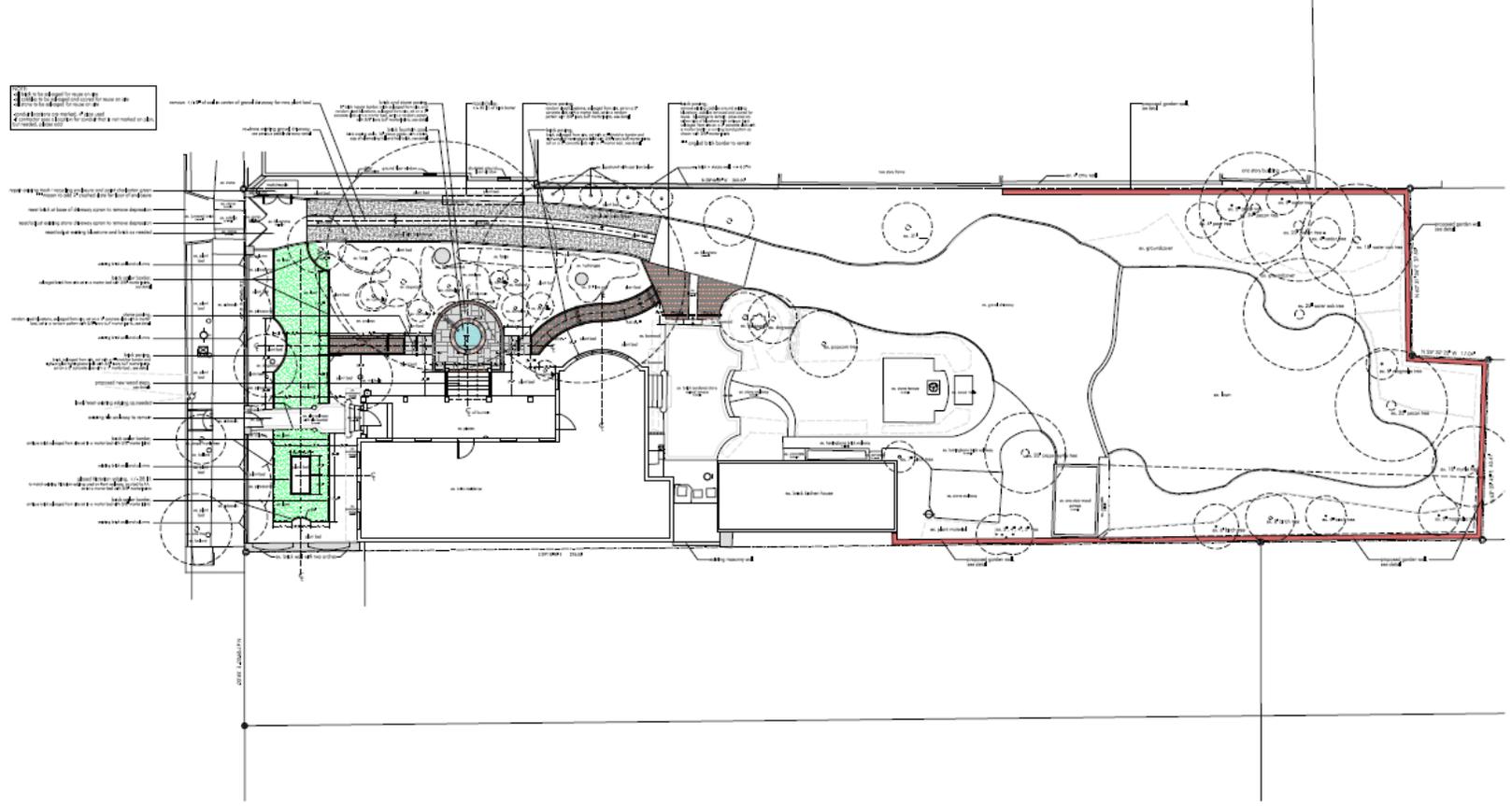


Gramling Residence
32 Charlotte Street
Charleston, SC 29405

Cover

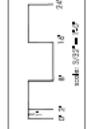
Design and construction shall conform to the applicable provisions of the International Building Code, International Residential Code, and all applicable local, state and federal codes.

1. All work shall be in accordance with the approved plans and specifications.
2. All work shall be in accordance with the approved plans and specifications.
3. All work shall be in accordance with the approved plans and specifications.



Approved by:
Date:
Title:
Sheet:
5-8

Gromling Residence
30 Oakdale Drive
Chapel Hill, NC 27514
Tel: # 919-304-1100 21.6.08

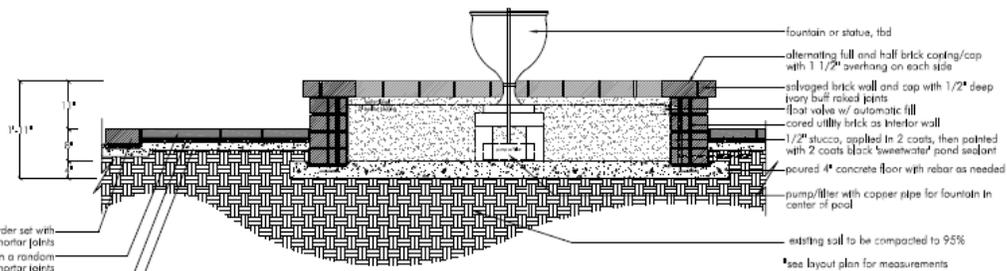


CLAYTON CORNELL LANDSCAPE ARCHITECT
1000 N. 100th St.
Charlotte, NC 28262
Tel: # 704-233-8888
Fax: # 704-233-8888
www.claytoncornell.com

NOTE:

- all brick to be salvaged for reuse on site
- all cobbles to be salvaged and scored for reuse on site
- all stone to be salvaged for reuse on site

-conduit locations are marked, 4" pipe used
 -if contractor sees a location for conduit that is not marked on plan, but needed, please add

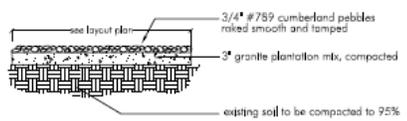


8" salvaged brick header border set with 3/8" ivory buff mortar joints
 bluestone, salvaged from site, laid in a random pattern with 3/8" ivory buff mortar joints
 1" stiff mortar leveling bed
 2" concrete slab

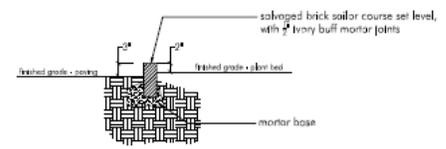
fountain or statue, tbd
 alternating full and half brick coping/cap with 1 1/2" overhang on each side
 salvaged brick wall and cap with 1/2" deep ivory buff raked joints
 float valve w/ automatic fill
 cored utility brick as interior wall
 1/2" stucco, applied in 2 coats, then painted with 2 coats black 'sweetwater' pond sealant
 poured 4" concrete floor with rebar as needed
 pump/filter with copper pipe for fountain in center of pool
 existing soil to be compacted to 95%

Brick Fountain Pool Detail
 Scale 1" = 1'-0"

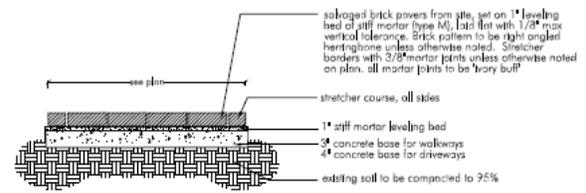
- use layout plan for measurements
- tie to garden drain line
- allow for lighting, pump and water supply lines with 3 sweeps of conduit



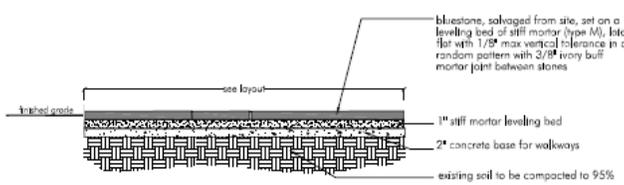
Pervious Pebble Driveway Paving Detail
 Scale 1" = 1'-0"



Brick Sailor Border Detail
 Scale 1" = 1'-0"



Brick Paving Detail
 Scale 1" = 1'-0"



Stone Paving Detail
 Scale 1" = 1'-0"

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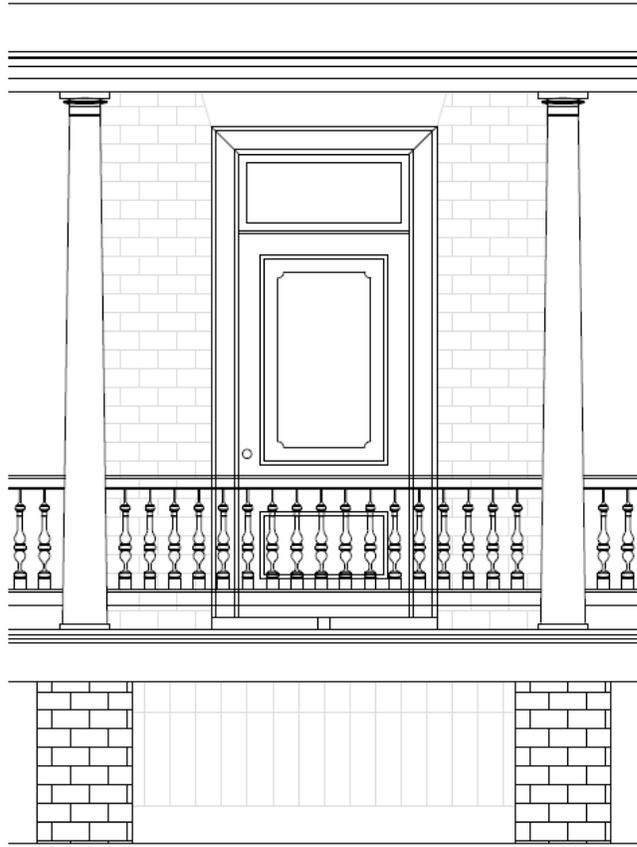
GUNL & GARDNER LANDSCAPE ARCHITECT
 3000 N. 15th Ave.
 Suite 100
 Phoenix, AZ 85018
 Phone: 602.233.8888
 Fax: 602.233.8889
 www.gunlandgardner.com

Date: 10/24/2018
 13-11-12 Rev
 Rev: 13-11-18 Rev

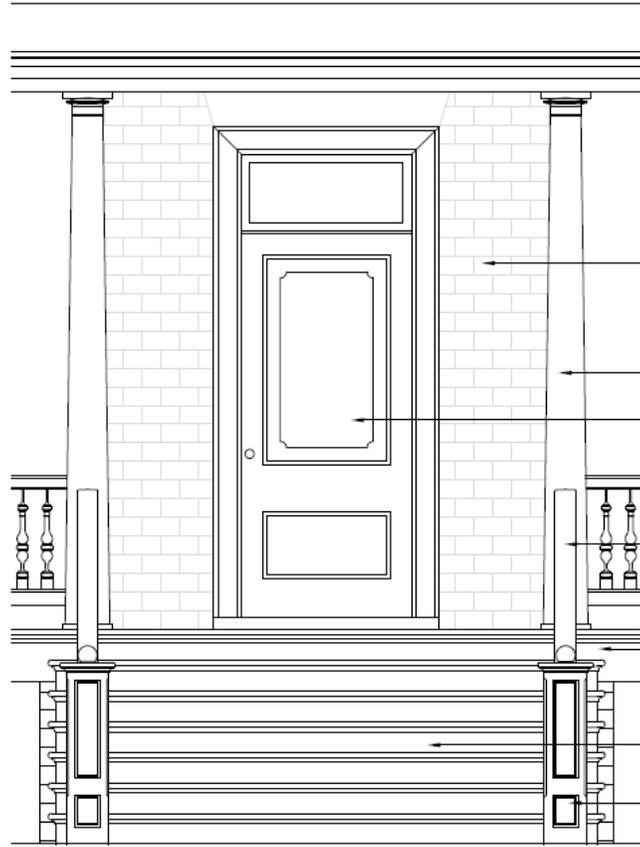


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Existing Front Piazza Detail
 Scale 1/2" = 1'-0"



Proposed Front Piazza Detail
 Scale 1/2" = 1'-0"

- ← existing brick walls, no changes
- ← existing tapered solid wood columns
- ← existing main entry door, no changes
- ← tie in new sapele rail to existing columns use NFW matching spindles under house for railing
- ← existing skirt board & wood floor no changes
- ← new wood steps from piazza (see section/side view)
- ← new custom wood sapele posts

Date: 10/14/23
Rev:

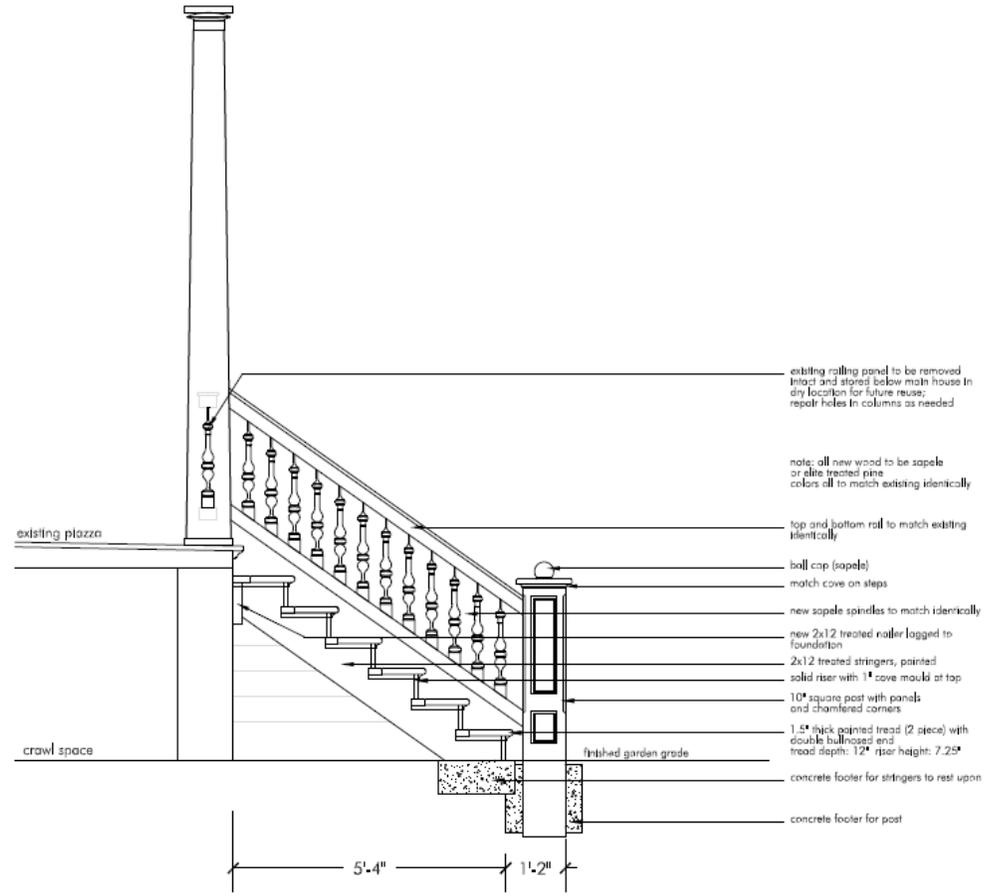


GUNTE CORNELL LARSON ARCHITECT
 200 N. 1st St.
 Charlotte, NC 28202
 P: 704.252.2888
 F: 704.252.2889
 gcl@guntelarson.com

Gramling Residence
 30 Oakdale Drive
 Charlotte, NC 28202
 Proj # 2023-0100 21.600.spl

Front Piazza
 Date: 10/14/23
 sheet 5

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Proposed Piazza Step Detail
 Scale 1/2" = 1'-0"

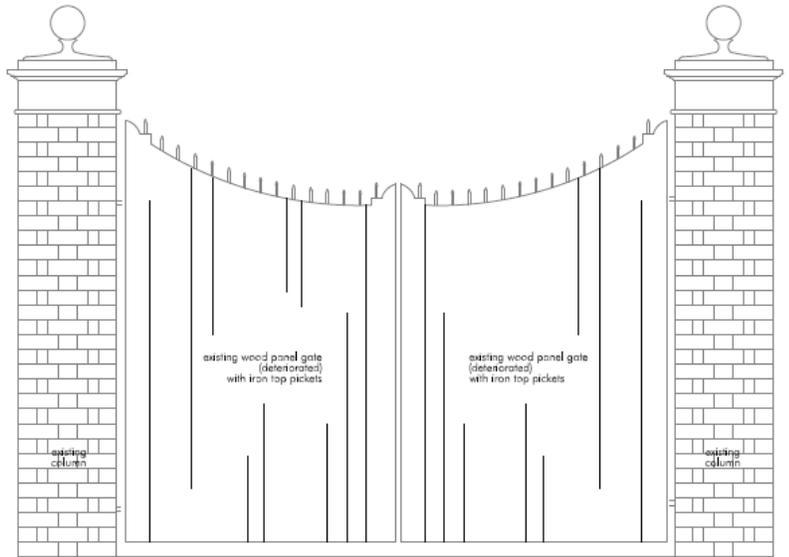
GUY E. GARDNER LANDSCAPE ARCHITECT
 200 N. 1st St.
 Charlotte, NC 28202
 P 704.333.2888
 F 704.333.2889
 www.guygardner.com

Date: 10/14/14
 Rev:



Gramling Residence
 30 Oldfield Lane
 Charlotte, NC 28202
 File # 09-1301-100 21.600.0

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Existing Driveway Gate
Scale 1/2" = 1'-0"

Listing
Driveway Gate
Detail
sheet 7

Gramling Residence
30 Oakdale Drive
Chapel Hill, NC 27514
Tel: # 919-336-1100 21.6.05.4

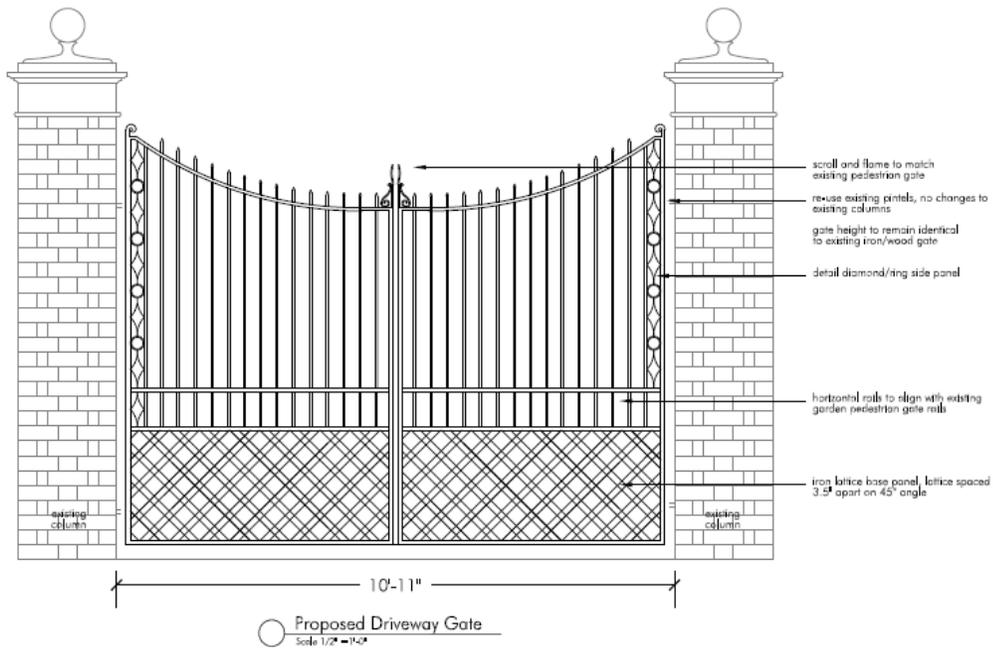


Date: 10/15/24
Rev:

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1000 N. 100th St.
Charlotte, NC 28262
Tel: # 704-233-2888
Tel: # 704-233-2888
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Design and construction shall be in accordance with the specifications of the International Building Code, 2018 Edition, and the International Residential Code, 2018 Edition, unless otherwise specified.



QUINCY CORNELL LANDSCAPE ARCHITECT
1000 N. 1st St.
Chapel Hill, NC 27514
919.286.8888
quincycornell.com

Date: 10/14/2020
Rev:



Gramling Residence
30 Oakdale Drive
Chapel Hill, NC 27514
Tel: # 919-336-1100 21.605 sf

Proposed
Driveway Gate
Detail
sheet 8

GLEN R. GARDNER • LANDSCAPE ARCHITECT

32 Charlotte Street

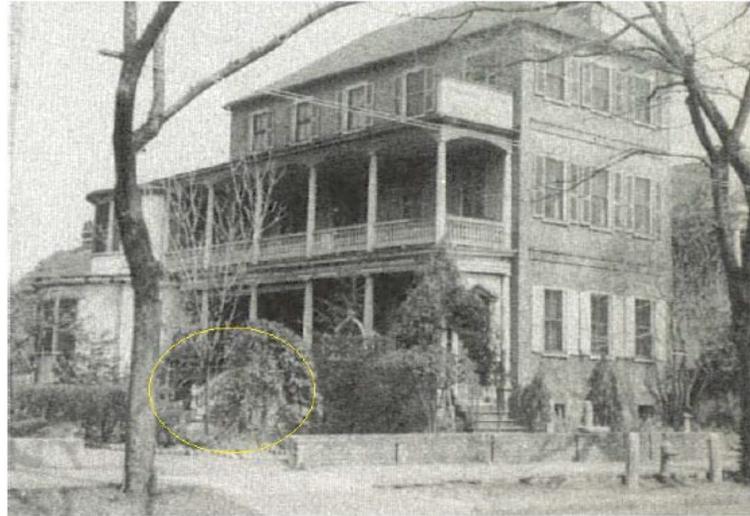
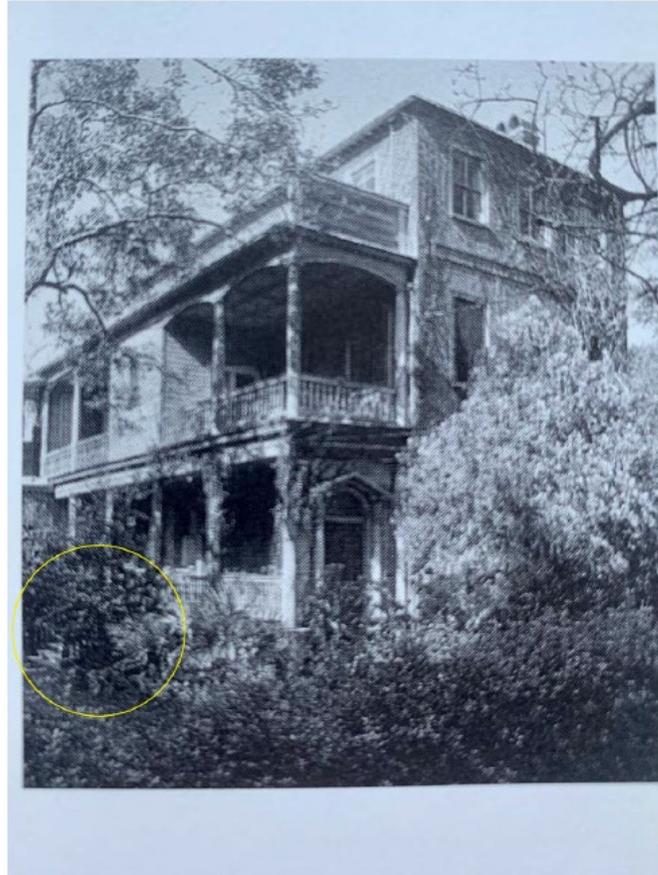


Photo from 'This is Charleston' published 1941



Undated photo



Plugged columns with previous top handrails for garden stairs

Agenda Item #15

113 ASHLEY AVENUE
TMS # 457-03-01-047

Request final approval for new garden hardscape and installation of pool.

Category 2 / (Harleston Village) / c.1880 / Old and Historic District

