



City of Charleston

DESIGN REVIEW BOARD

January 21st, 2020

4:30 PM

DEPARTMENT OF PLANNING, PRESERVATION & SUSTAINABILITY

www.charleston-sc.gov/drb

Agenda Item #1

1140 SAM RITTENBERG

TMS # 352-08-00-002

Request approval for a completed mock-up panel
for Parkers Kitchen and gas station.



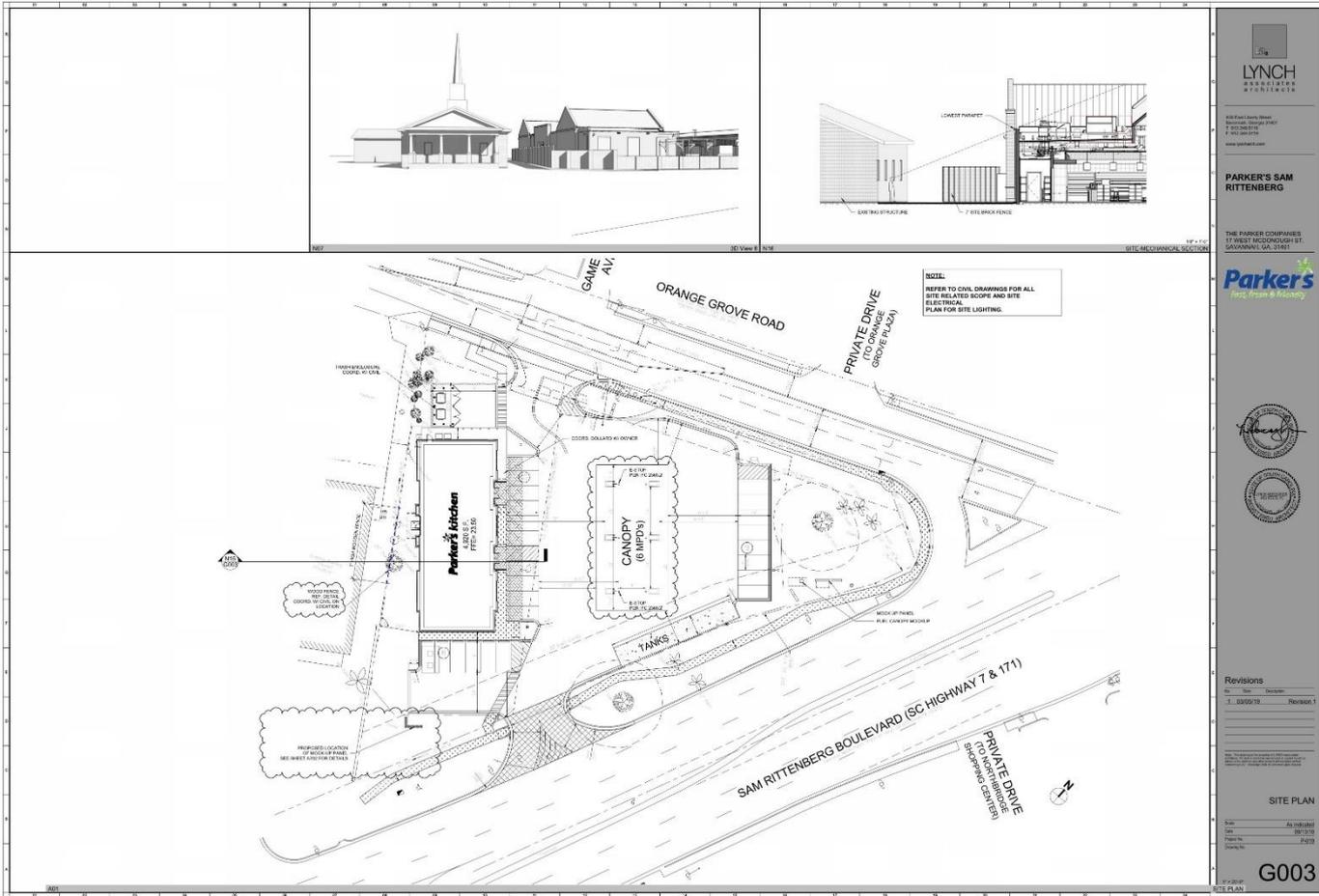
***Parker's* kitchen**

1140 Sam Rittenberg

City of Charleston

DRB – Sample Panel

January 21st 2020



PARKER'S – 1140 SAM RITTENBERG – 1/21/20



1140 Park Drive West
 Savannah, Georgia 31406
 P: 912.233.1111
 www.lyncharch.com

PARKER'S SAM RITTENBERG

THE PARKER COMPANIES
 17 WEST WOODHOUGH ST
 SAVANNAH, GA 31406



NOTE:
 REFER TO CIVIL DRAWINGS FOR ALL
 SITE RELATED SCOPE AND SITE
 ELECTRICAL
 PLAN FOR SITE LIGHTING.



Revisions

No.	Date	Description
1.	02/02/19	Revised 1

SITE PLAN

Scale:	AS SHOWN
Date:	01/21/20
Sheet No.:	003
Project No.:	

G003

10/7/2019 9:33:25 AM



PARKER'S – 1140 SAM RITTENBERG – 1/21/20



PARKER'S – 1140 SAM RITTENBERG – 1/21/20



PARKER'S – 1140 SAM RITTENBERG – 1/21/20

Agenda Item #2

302 LONGSHORE ST.
TMS # 275-00-00-306

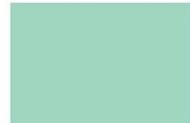
Request approval for a completed mock-up panel
for a new restaurant/store/boat storage facility.



NORTH FACADE - PROPOSED COLORS



STC-1 - TABBY STUCCO
FARROW & BALL: POLK/COM/ATLANTIQUE
OYSTER SHELLS 1 & 2



ALUMINUM CLAD DOORS & WINDOWS
SIERRA PACIFIC H3 SERIES: HAMPTON BLUE



FC-1 SIDING - FIBER CEMENT LAP
TRIM, CEILING, SOFFITS, COLUMNS, & RAILINGS
GUTTERS & DOWNSPOUTS
FARROW & BALL: SCHOOL HOUSE WHITE



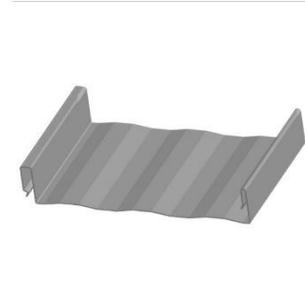
ACCENT STANDING SEAM METAL ROOF
GUTTERS
MBC SIGNATURE 300 SERIES - TUNDRA (LIGHT GRAY)



FC-2 SIDING - FIBER CEMENT BOARD & BATTEN
SIERRA PACIFIC H3 SERIES: HAMPTON BLUE



EXTERIOR LANTERN PRECEDENT
MANUFACTURER T.B.O.



STANDING SEAM METAL ROOF
MBC SIGNATURE 300 SERIES - TUNDRA (LIGHT GRAY)

1. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT. 2. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT. 3. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT. 4. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT. 5. ALL MATERIALS AND FINISHES TO BE APPROVED BY THE ARCHITECT.



NORTH FACADE - PROPOSED COLORS



NORTH FACADE - COLORS AS PREVIOUSLY PRESENTED

EW/DANIEL ISLAND INVESTORS, LLC
 RIVER LANDING VILLAGE PHASE I - BUILDING
 R-03
 BUILDING R-03
 DANIEL ISLAND, SC

SHEET NO.	DATE	DESCRIPTION	BY

NOT FOR CONSTRUCTION

DATE	REVISION	BY

PRINCIPAL IN CHARGE: [Signature]
 PROJECT ARCHITECT: [Signature]
 DRAWN BY: [Signature]

SHEET TITLE:
**COMPARATIVE
 RENDERINGS
 NORTH**

SHEET NO. PROJECT NO.



AR002



SOUTHWEST AERIAL OF RESTAURANT - PROPOSED COLORS

EV DANIEL ISLAND INVESTORS, LLC
 RIVER LANDING VILLAGE PHASE I - BUILDING
 R-03
 BUILDING R-03
 DANIEL ISLAND, SC

SHEET NO.	DATE	DESCRIPTION	BY

NOT FOR CONSTRUCTION

DATE	REVISION	BY

PRINCIPAL IN CHARGE	NO.

PROJECT MANAGER	NO.

DRAWN BY	NO.

SHEET TITLE:
**PERSPECTIVE
 AERIAL**

SHEET NO.	PROJECT NO.

AR003





LOWER MOCK-UP

MARKET AND CANOE STORAGE ELEMENTS
THIS PORTION OF THE MOCK-UP IS FOCUSED ON THE DESIGN ELEMENTS OF THE MARKET AND CANOE STORAGE STRUCTURES.

WINDOW
THE WINDOW IS SET INTO THE WALL WITH TABBY STUCCO RETURNS.

COLORS
FOR THE MARKET AND THE CANOE STORAGE THE WINDOWS AND DOORS ARE TO BE HAMPTON BLUE SET IN THE STUCCO. ALL TRIM AND SOFFITS TO BE SCHOOL HOUSE WHITE AS SHOWN IN THE MOCK-UP. WINDOW SILL TO BE SCHOOL HOUSE WHITE WHEN IN STUCCO.

NOTE: STUCCO TRANSITIONS TO SOFFIT WITH HEADER BOARD.



UPPER MOCK-UP

RESTAURANT ELEMENTS
THIS PORTION OF THE MOCK-UP IS FOCUSED ON THE MATERIAL ELEMENTS OF THE RESTAURANT SPECIFICALLY THE CEMENTITIOUS FINISHES.

MATERIALS
THE RESTAURANT INCLUDES CEMENTITIOUS BOARD AND BATTON AND LAP SIDING. THESE FEATURES WILL TRANSITION TO THE SOFFIT WITH A HEADER BOARD SIMILAR TO THE STUCCO TRANSITION.

COLORS
FOR THE RESTAURANT THE PROJECT IS PROPOSING EXPANDING THE USE OF HAMPTON BLUE TO ALL OF THE BOARD AND BATTON LOCATIONS (AT THE 2ND FLOOR). THIS COLOR WILL FOLLOW THE WALL UP UNDER THE EAVE AND CONTINUE OUT TO THE FASCIA. THE FASCIA AND RAFTER TAILS WILL BE SCHOOL HOUSE WHITE AS SHOWN IN THE MOCK-UP. THE LAP SIDING IN THE COURTYARD WILL REMAIN SCHOOL HOUSE WHITE FULL HEIGHT AND WHERE IT TRANSITIONS TO THE SOFFIT WILL MAINTAIN ITS COLOR CONTINUITY.

WINDOW
THE WINDOWS UTILIZE SIMPLE TRIM PROFILES AND RETURNS. NOTE, THE WINDOWS IN THE RESTAURANT SET INTO STUCCO UTILIZE THE SAME DETAILS SHOWN FOR THE MARKET.

NOTE: BOARD AND BATTON TRANSITIONS TO SOFFIT WITH HEADER BOARD.



UPPER MOCK-UP (BACK)

RESTAURANT ELEMENTS (PORCH)
THIS PORTION OF THE MOCK-UP DEMONSTRATES DETAILS UNIQUE TO THE PORCH SIDE OF THE RESTAURANT.

CORNICE
THE CORNICE PROFILE INCLUDING OUTSIDE CORNER IS REPRESENTED.

MASONRY PAVER
THE PROPOSED MASONRY PAVER IS SHOWN AS IT TRANSITIONS TO THE STUCCO.



CORNICE
THE CORNICE PROFILE TRANSITIONS UP TO THE 2ND LEVEL PORCH. THE PORCH RAIL IS DESIGNED TO BE SET INTO/THROUGH THE PEDESTAL PAVER BEHIND THE CORNICE CAP.

MASONRY PAVER
THE PROPOSED MASONRY PAVER IS SHOWN AS IT TRANSITIONS TO THE STUCCO.



PILASTER/COLUMN
THE PILASTER/COLUMN EXISTS IN SEVERAL CONDITIONS WITHIN THE PROJECT. IT IS SHOWN HERE BOTH RETURNING TO A STUCCO FINISH AS WELL AS HOW IT WOULD INTERSECT TRIM AT AN INTERNAL CORNER.

Agenda Item #3

846 ST. ANDREWS BLVD.

TMS # 418-11-00-008

Request approval for a completed mock-up panel
for a new office building.

DOORS/WINDOWS:
 ALUMINUM STOREFRONT
 -2.5" FRAME / COLOR (GREY)
 -LOW E, SOLAR BAND 60 GLASS
 -IMPACT RATED



PRIMARY ROOF FASCIA & ENTRY CANOPY FASCIA:
 -MFGR. (ROLLFAB OR EQ.)
 -COLOR (CHARCOAL GREY)
 -METAL_PRO-FINISH 500



PRIMARY WALLS/FACADE :
 -STUCCO (3 PART HARDCOAT)
 -FINISH, LIMESTONE SMOOTH
 -Stolit or EQ. / COLOR (STONE WHITE)



ACCENT BAY SIDING:
 -LAP SIDING 5.5" EXPOSURE
 -FIBER CEMENT, SIMULATED WOOD
 -STAINED, COLOR (TEAK) FACTORY FINISH
 -MFGR: CAROLINA COLOR TONES OR EQ.



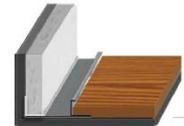
OUTSIDE CORNER AT SIMULATED WOOD:
 -1"X1" ALUMINUM
 -PRE FINISH, (MID NIGHT GREY)
 -TAMLYN OR EQ.



METAL ACCENT SOFFITS :
 -MFGR. (ROLLFAB OR EQ.)
 -COLOR (CLAY)
 -PRO-FINISH 500

ROOF & CANOPY SOFFITS
 -STUCCO (3 PART HARDCOAT)
 -FINISH, LIMESTONE SMOOTH
 -Stolit or EQ. / COLOR (STONE WHITE)

CONCEALED BACK UP FASCIA SPLICE PLATE, TYP.



VERTICAL STUCCO/SIDING REVEAL:
 -2" ALUM. REVEAL
 -1"X1" ALUMINUM STOP
 -PRE FINISH, (MID NIGHT GREY)
 -TAMLYN OR EQ.

HORZ. STUCCO REVEAL:
 -1/2" VINYL REVEAL BEAD
 -COLOR (WHITE)
 -AMICO OR EQ.



BUILDING FACADE- COLORS & MATERIALS PALETTE

NOTE: FINAL BLDG. SIGN DESIGN BY OTHERS

EXTERIOR MATERIALS CASE STUDY IMAGES



METAL FASCIA & STUCCO SOFFIT



SIMULATED WOOD SIDING (FACTORY FINISH FIBER CEMENT)



OUTSIDE CORNER TRIM AT SIMULATED WOOD, PRE FINISALUMINUM





BUILT SAMPLE WALL PANEL AS OF 01.08.2020



BUILT SAMPLE WALL PANEL AS OF 01.08.2020





BUILT SAMPLE WALL PANEL AS OF 01.08.2020



BUILT SAMPLE WALL PANEL AS OF 01.08.2020





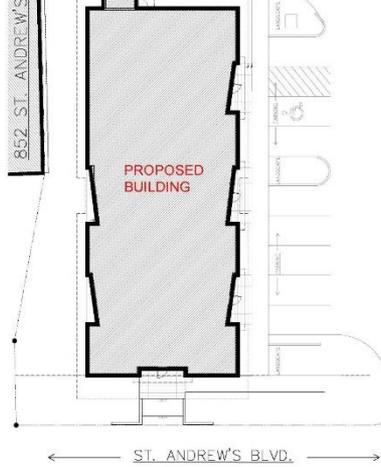
BUILT SAMPLE WALL PANEL AS OF 01.08.2020



BUILT SAMPLE WALL PANEL AS OF 01.08.2020



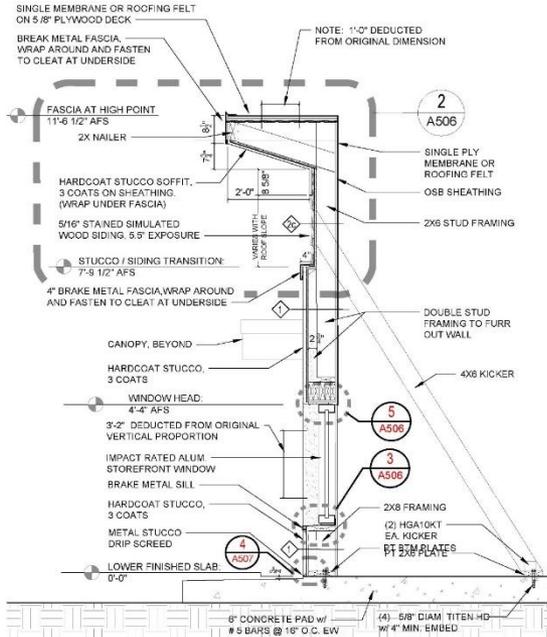
PROPOSED SAMPLE PANEL LOCATION



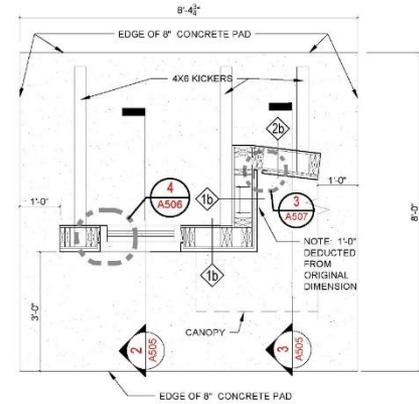
3 SITE PLAN
SCALE: 1/16" = 1'-0"

NOTES:

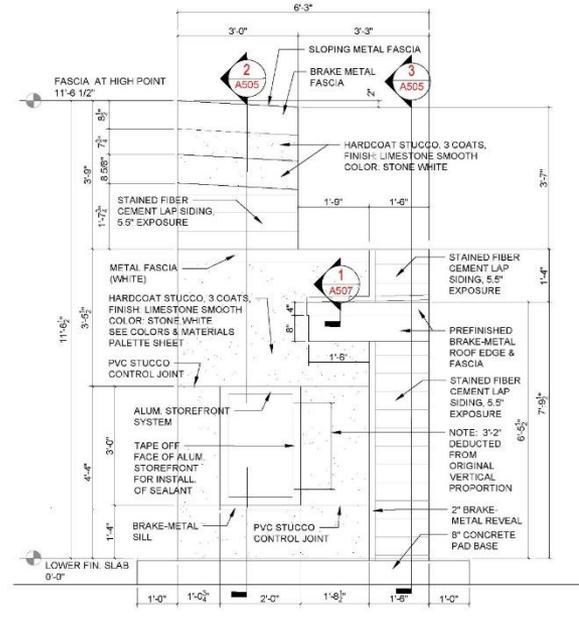
- 1) SEE ATTACHED DRB COLORS & MATERIALS PALETTE SHEET FOR ADDITIONAL SPECIFICATIONS
- 2) REFERENCE STRUCTURAL FOR FINISHED FRAMING, REQUIREMENTS, & CONFIGURATIONS
- 3) CONTRACTOR TO PROVIDE MATERIALS & COMPONENT SAMPLES & CUT SHEETS TO ARCHITECT FOR REVIEW / APPROVAL BEFORE CONSTRUCTION.
- 4) ALL DETAILS MATCH ORIGINAL CONSTRUCTION DOCUMENTS



2 SECTION - SAMPLE WALL PANEL
SCALE: 3/4" = 1'-0"



4 PLAN - SAMPLE WALL PANEL
SCALE: 3/4" = 1'-0"



1 ELEVATION - SAMPLE WALL PANEL
SCALE: 3/4" = 1'-0"



LFK ARCHITECTS, LLC
840 ST. ANDREW'S BLVD. SUITE 100
NORTH CHARLESTON, SC 29405
LEO F. ANDRETTI, AIA
LEO@LFKARCHITECTS.COM
PHONE 803-333-9962

DATE	ISSUE

6/27/19

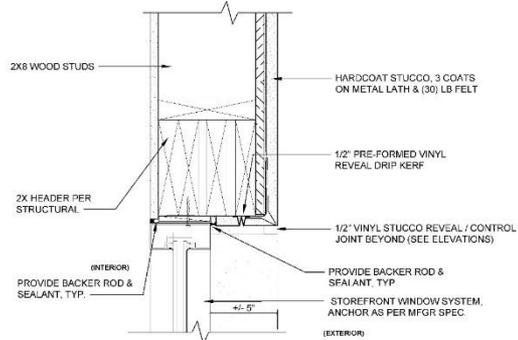
REVISION NUMBER
A SAMPLE PANEL DETAILS

ST. ANDREWS MEDICAL CENTER
840 ST. ANDREW'S BLVD.
CHARLESTON, SC

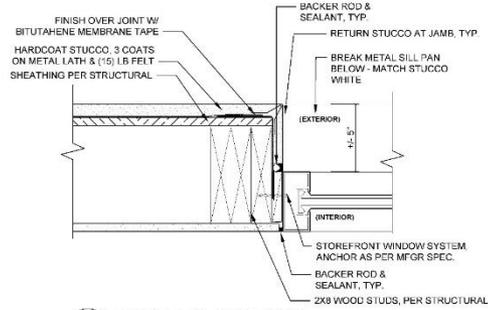
SHEET NUMBER & TITLE

A505

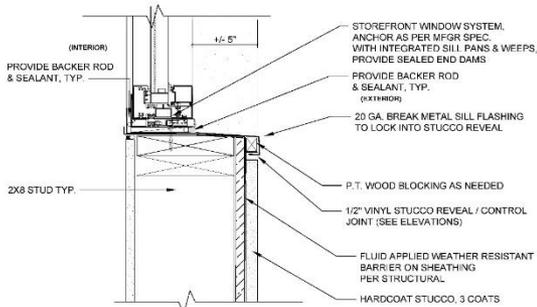
CONSTRUCTION SET
3/28/19



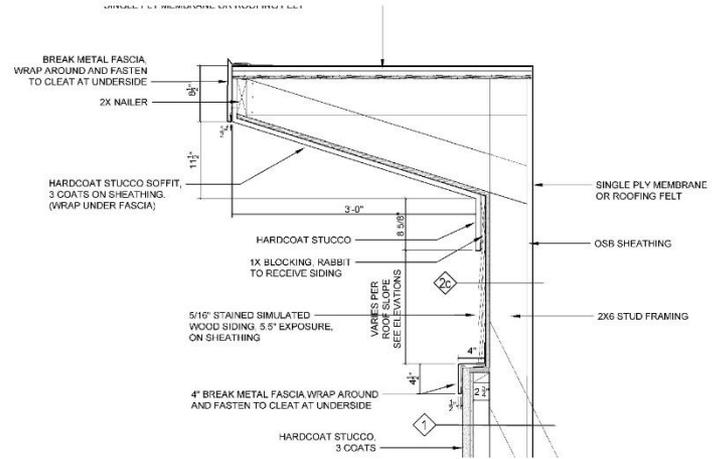
5 HEAD DETAIL AT STUCCO
SCALE: 3" = 1'-0"



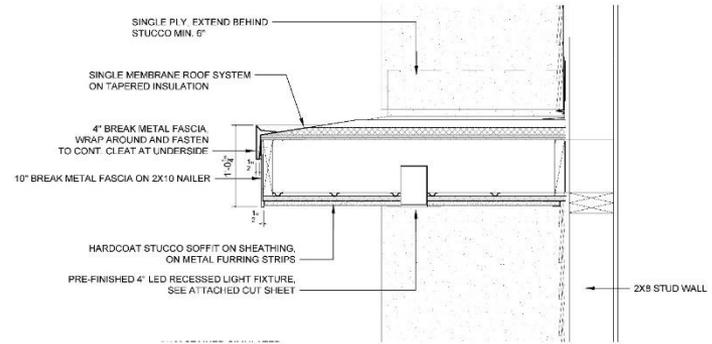
4 JAMB DETAIL AT STUCCO
SCALE: 3" = 1'-0"



3 SILL DETAIL AT STUCCO
SCALE: 3" = 1'-0"



2 ENLARGED SECTION - SAMPLE WALL PANEL
SCALE: 1 1/2" = 1'-0"



1 ENLARGED SECTION - SAMPLE WALL PANEL
SCALE: 1 1/2" = 1'-0"



LFK ARCHITECTS, LLC
1000 W. PARKWAY, SUITE 100
CHARLESTON, SOUTH CAROLINA 29405
PHONE: 803.733.0000
WWW.LFKARCHITECTS.COM

DATE	DESCRIPTION

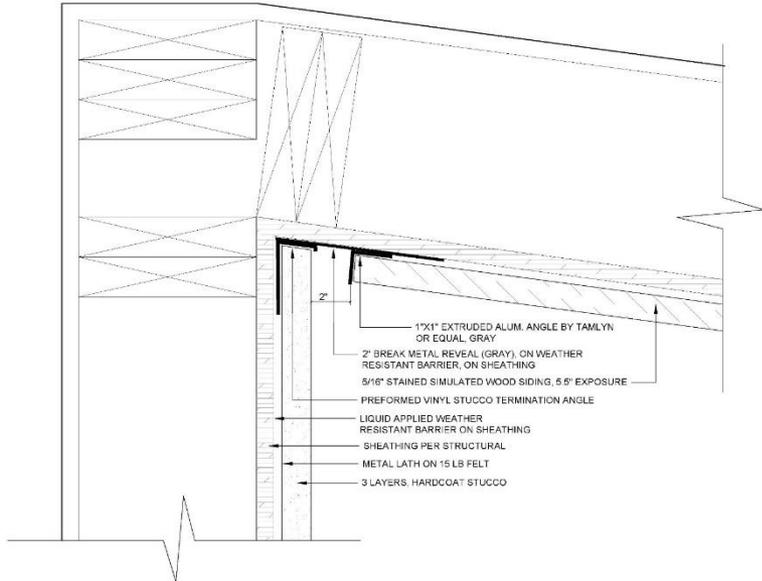
DATE	DESCRIPTION

PROJECT NUMBER	62718
PROJECT NAME	ST. ANDREWS MEDICAL CENTER
PROJECT ADDRESS	840 ST. ANDREWS BLVD. CHARLESTON, SC
PROJECT TYPE	SAMPLE PANEL DETAILS

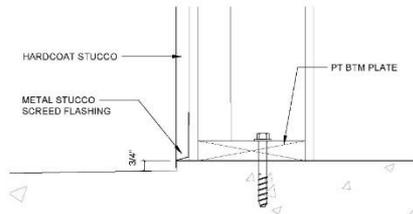
SHEET NUMBER & TITLE

A506

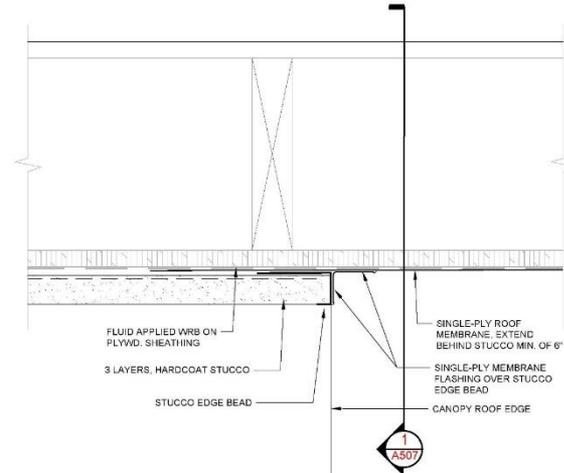
CONSTRUCTION SET
3/25/15



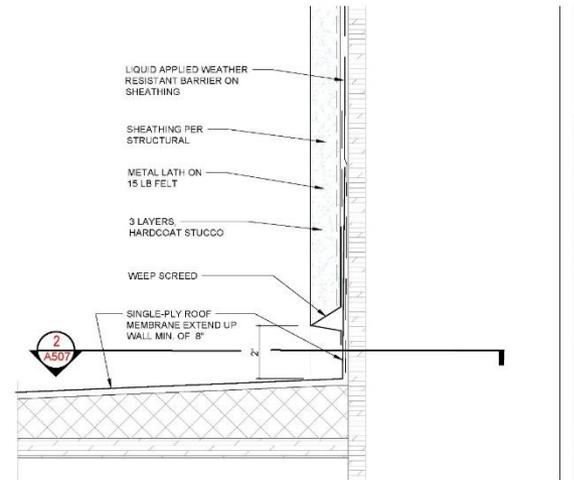
3 PLAN DETAIL AT CORNER REVEAL
SCALE: 6" = 1'-0"



4 BASE DETAIL AT STUCCO
SCALE: 3" = 1'-0"



2 PLAN DETAIL - SAMPLE WALL PANEL 1
SCALE: 6" = 1'-0"



1 ENLARGED SECTION - SAMPLE WALL PANEL 1
SCALE: 1 1/2" = 1'-0"



LFK ARCHITECTS

LFK ARCHITECTS, LLC
840 ST. ANDREWS BLVD. SUITE 100
CHARLESTON, SC 29405
LOUIS F. ANDREWS III, AIA
lfk@lfkarchitects.com
phone 803 333 9942

PROJECT NO.	000
DATE	6.27.19
DESIGNER	LFK
CHECKED	LFK

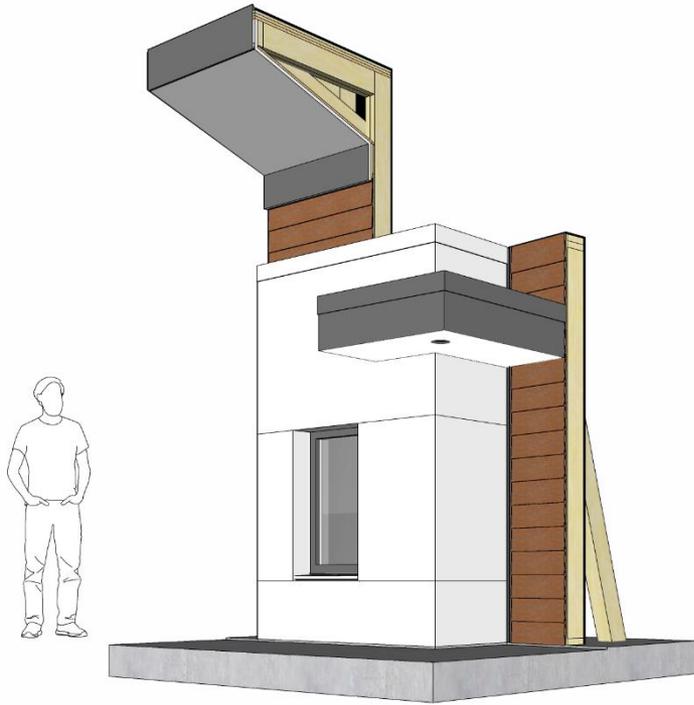
REVISION NUMBER:
SAMPLE PANEL DETAILS
6.27.19

ST. ANDREWS MEDICAL CENTER
840 ST. ANDREWS BLVD.
CHARLESTON, SC
ENLARGED LOBBY STAIR SECTION

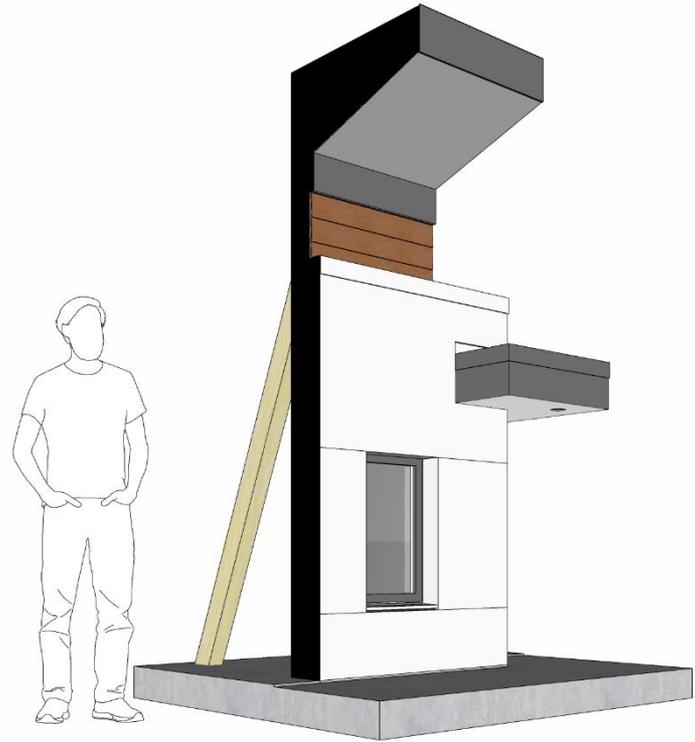
SHEET NUMBER & TITLE

A507

CONSTRUCTION SET
3/25/19

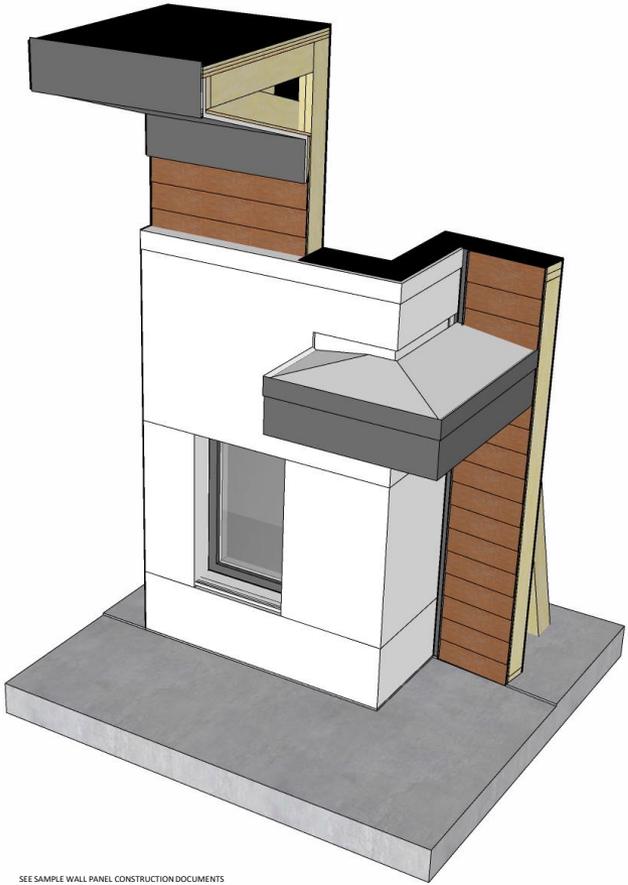


SEE SAMPLE WALL PANEL CONSTRUCTION DOCUMENTS
FOR ADDITIONAL INFORMATION
SEE MATERIAL PALETTE SHEET FOR COLORS AND MATERIALS

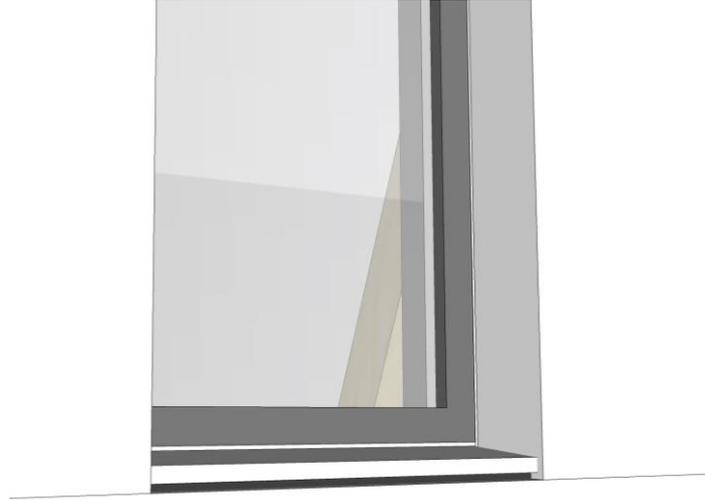


SEE SAMPLE WALL PANEL CONSTRUCTION DOCUMENTS
FOR ADDITIONAL INFORMATION
SEE MATERIAL PALETTE SHEET FOR COLORS AND MATERIALS





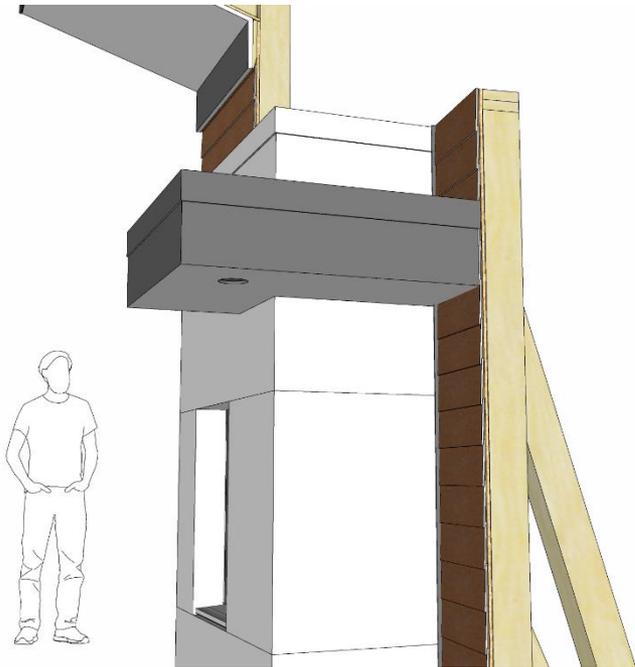
SEE SAMPLE WALL PANEL CONSTRUCTION DOCUMENTS
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SEE MATERIAL PALETTE SHEET FOR COLORS AND MATERIALS



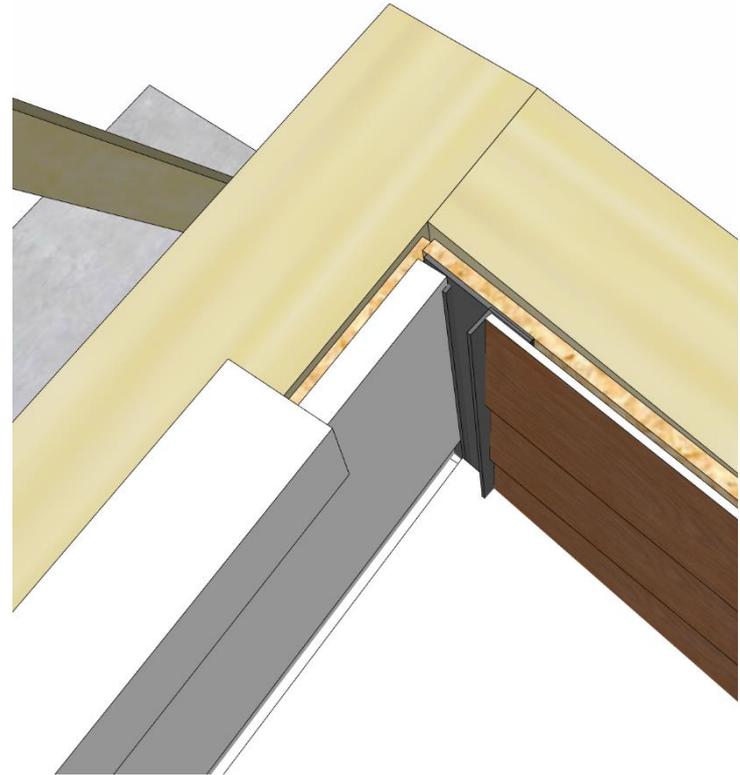
STOREFRONT SILL STUCCO REVEAL

SEE SAMPLE WALL PANEL CONSTRUCTION DOCUMENTS
FOR ADDITIONAL INFORMATION
SEE MATERIAL PALETTE SHEET FOR COLORS AND MATERIALS





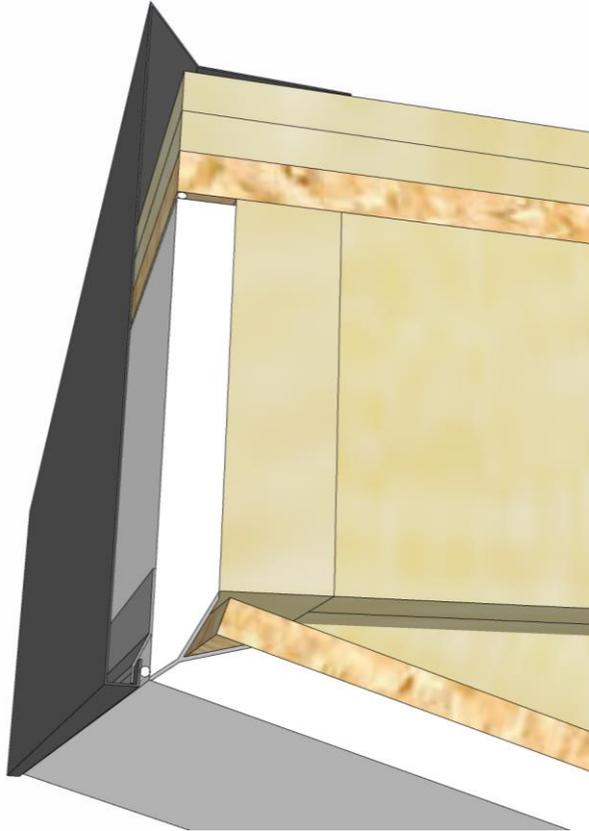
SEE SAMPLE WALL PANEL CONSTRUCTION DOCUMENTS
FOR ADDITIONAL INFORMATION
SEE MATERIAL PALETTE SHEET FOR COLORS AND MATERIALS



BREAKMETAL REVEAL AT STUCCO AND SIMULATED WOOD

SEE SAMPLE WALL PANEL CONSTRUCTION DOCUMENTS
FOR ADDITIONAL INFORMATION
SEE MATERIAL PALETTE SHEET FOR COLORS AND MATERIALS





FASCIA OVER STUCCO AT MAIN ROOF

SEE SAMPLE WALL PANEL CONSTRUCTION DOCUMENTS
FOR ADDITIONAL INFORMATION
SEE MATERIAL PALETTE SHEET FOR COLORS AND MATERIALS



Agenda Item #4

2215 HENRY TECKLENBURG.

TMS # 309-00-00-064

Request the preliminary approval for the construction
of a new 3 story office building.

WE ARE SHARING HOPE SC

2215 HENRY TECKLENBURG DR
CHARLESTON, SC

PRELIMINARY DRB
JANUARY 8, 2020
1101-185050



BUILDING DESIGNED AREA	
GROUND FLOOR	1,995
FIRST FLOOR	31,983
SECOND FLOOR	26,122
TOTAL SQFT	50,000



COVER SHEET

PRELIMINARY DRB
JANUARY 8, 2020

G-001

SHEET
01

WE ARE SHARING HOPE SC

SHEET INDEX

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2	G-002	SHEET INDEX
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4	G-004	EXISTING SITE + CONTEXT PHOTOS
5	C-101	TOPOGRAPHIC SURVEY
6	C-102	TOPOGRAPHIC SURVEY
7	C-201	DEMOLITION PLAN
8	C-202	DEMOLITION PLAN
9	C-301	NEW SITE PLAN
10	C-302	NEW SITE PLAN
11	C-401	NEW UTILITY PLAN
12	L-000	ILLUSTRATIVE SITE PLAN
13	L-001	ILLUSTRATIVE ENLARGEMENT PLAN
14	L-002	ILLUSTRATIVE SECTION ELEVATION
15	L-003	ILLUSTRATIVE SECTION ELEVATION: POND ENLARGEMENT
16	L-004	ILLUSTRATIVE SECTION ELEVATION: OUTDOOR ROOM ENLARGEMENT
17	L-005	ILLUSTRATIVE SECTION ELEVATION: PARKING AREA ENLARGEMENT
18	L-006	INSPIRATION IMAGES: PAVING
19	L-007	INSPIRATION IMAGES: SITE ELEMENTS
20	L-008	INSPIRATION IMAGES: SHADE PLANT SPECIES
21	L-009	INSPIRATION IMAGES: SUN AND DROUGHT TOLERANT SPECIES
22	L-010	INSPIRATION IMAGES: POND AND FOREST EDGE PLANT SPECIES
23	L-101	SITE PLAN
24	L-102	MATERIALS PLAN ENLARGEMENT
25	L-103	MATERIALS PLAN ENLARGEMENT
26	L-202	PLANTING PLAN ENLARGEMENT
27	L-203	PLANTING PLAN ENLARGEMENT
28	L-204	PLANTING DETAILS AND SCHEDULE
29	L-300	SITE DETAILS
30	A-100	GROUND FLOOR PLAN
31	A-101	FIRST FLOOR PLAN
32	A-102	SECOND FLOOR PLAN
33	A-103	ROOF PLAN
34	A-201	EXTERIOR ELEVATIONS
35	A-202	EXTERIOR ELEVATIONS
36	A-203	EXTERIOR ELEVATIONS
37	A-204	EXTERIOR ELEVATIONS
38	A-300	BUILDING SECTIONS
38	A-300	BUILDING SECTIONS
39	A-301	EXTERIOR WALL SECTIONS, SOUTH
39	A-301	EXTERIOR WALL SECTIONS, SOUTH
40	A-302	EXTERIOR WALL SECTIONS, SOUTH
41	A-303	EXTERIOR WALL SECTIONS, EAST/WEST
42	A-304	EXTERIOR WALL SECTIONS, NORTH
43	A-305	EXTERIOR WALL SECTIONS, PREFUNCTION
44	A-900	EXTERIOR RENDERINGS
45	A-901	EXTERIOR RENDERINGS
46	A-902	EXTERIOR RENDERINGS
47	A-910	EXTERIOR FINISH PALETTE

WE ARE SHARING HOPE SC

STAFF COMMENTS:

1. Staff finds this an interesting and innovative building and site design. A well conceived design. This project has a nice building and site materials pallet. This will be a nice addition to the West Ashley area.
2. Staff likes the outdoor room under the building and how the park like space passes under the building and out beyond.
3. The ample use of pervious pavers and plantation mix in the parking lot is a good move. The pattern of the pervious pavers in plan view seems unresolved or unfinished.
4. Staff recommends the Grasscrete pavers for the overflow parking area for more of a green look.
5. Some of the 3D renderings/areal views still need to reflect the current site layout and parking configuration/material changes/bio swales.
6. There are some curved seat walls on the renderings, extending out from under the building, that do not appear in the site/landscape plans.
7. Staff likes the idea of Bio swales in the parking lot islands. But it's unclear whether these areas are depressed as they would need to be to collect water. Curb cuts, or no curbs would need to occur for water to flow into these areas. Renderings in the package show curbed raised islands, and the site sections don't show islands as depressed.
8. Staff is concerned with the amount of site lights being proposed. Our first reaction is to ask if the number of lights could be reduced but we will wait to see a photometric plan.
9. Signage should conform to DRB standards and is to be submitted separately for review toward the end of the building review process. (staff review).

RESPONSES:

1. N/A
2. N/A
3. Since submittal, a portion of the pervious pavers was removed. The main drive in front building will remain pervious pavers, while the lanes in the parking that were pavers are now asphalt. Rest of site remains plantation mix
Pavers: 4" x 8" Permeable Brick Pavers by Hanover
<https://www.hanoverpavers.com/products/permeablepavingunits>
Drive area: herringbone pattern with double header course on the outer edge
Color: Natural/Charcoal blend
Pedestrian walkway: running bond pattern – **Color:** Charcoal
Colors are the options available for Traditional Pressed Brick with Natural Finish (<https://www.hanoverpavers.com/images/PDFs/PBColors.pdf>)
4. The design team decided for plantation mix instead of grass for sustainability and environmental reasons:
 - We are trying to maximize native plants and minimize watering. Grass will require higher maintenance.
 - The parking area is also at a very low elevation which may be occasionally flooded: The parking landscape and hardscape material were selected for their ability to face such issue
 - Usually Grasscrete pavers in long term fail to preserve the grass. In addition, the trees surrounding the parking area are mainly tall evergreens and will make it difficult for the grass to grow.
5. At time of submittal the architect renderings had not been fully updated to reflect the landscape and hardscape final design - these have been updated.
6. Landscape plans are accurate. The renderings will be updated and the curved walls will be removed.
7. The bioswales are depressed. Curbs will be cut to allow water to flow from parking area to the bioswales and drains. Sections and renderings will be updated to address those details.
8. A lighting consultant will be contracted to develop a Photometric for the site and lighting will be adjusted where needed.
9. We will submit the building signage package in a separate DRB submission.

SITE



ADJACENT BUILDINGS



1) CHARLESTON EAR, NOSE, & THROAT



2) TECKLEBURG MEDICAL PARK/LOW COUNTY RHEUMATOLOGY



3) ASHLEY GARDENS/ALZHEIMER'S SPECIAL CARE CENTER



3) ASHLEY GARDENS/ALZHEIMER'S SPECIAL CARE CENTER



4) MARSH SIDE TOWNS AT CAROLINA BAY



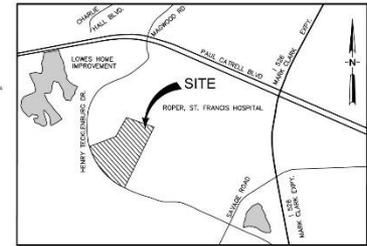
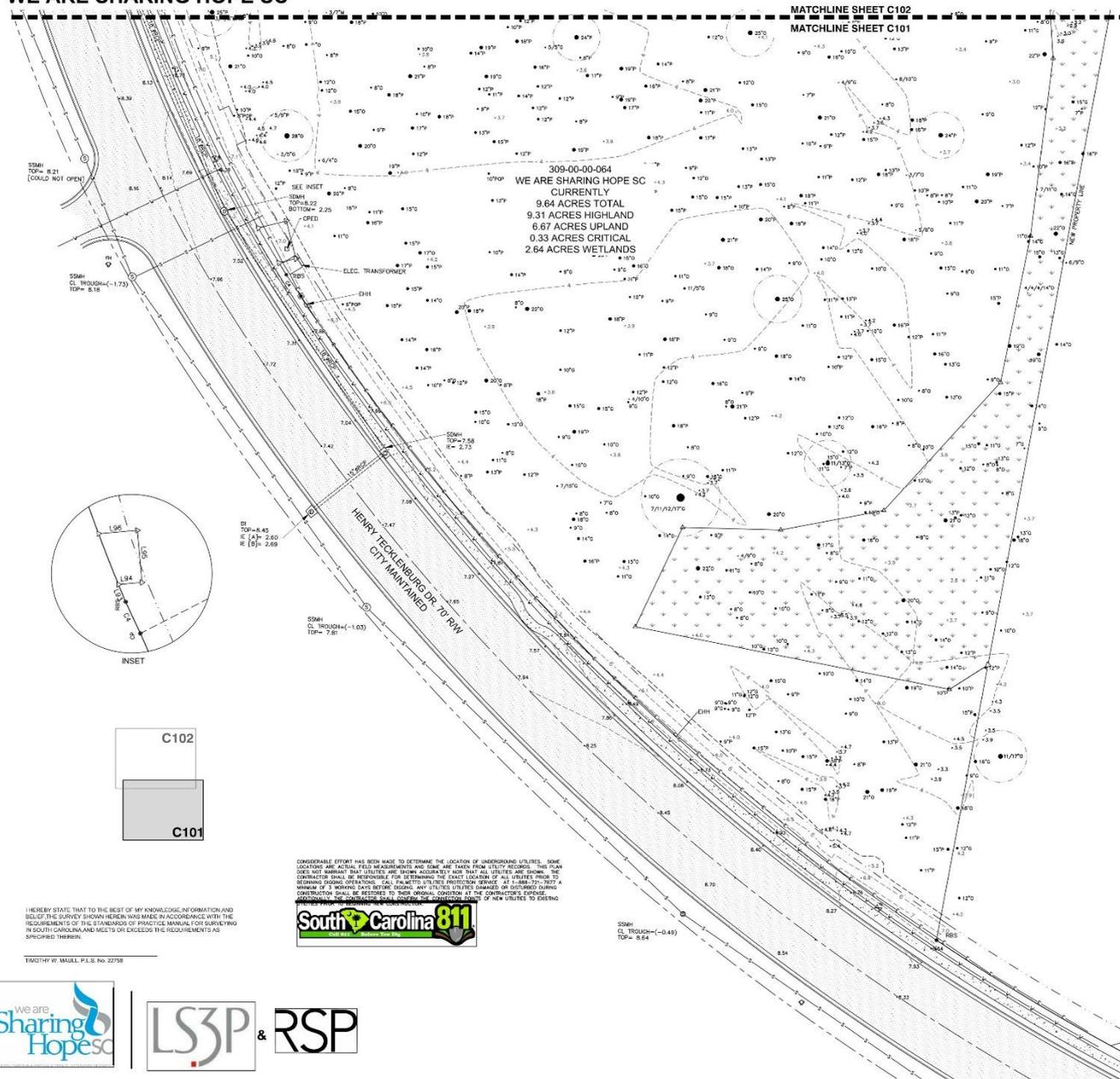
4) MARSH SIDE TOWNS AT CAROLINA BAY



5) DERMATOLOGY AND LASER CENTER OF CHARLESTON



WE ARE SHARING HOPE SC



LEGEND

OPED	COMMUNICATION PEDESTAL
ELEC	ELECTRIC
EHH	ELECTRIC HAND HOLE
RBS	3/8" REBAR SET
FI	FIRE HYDRANT
SSMH	SANITARY SEMI MANHOLE
CP	COMPUTED POINT
7.31	HAND SURFACE ELEVATION
7.5	GROUND ELEVATION

HATCHING LEGEND

MARSH

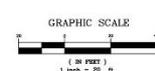
TREE LEGEND - TREE SYMBOL (TYPICAL)

O	OSAK
P	PINE
Q	QUIN
POP	POPCORN

LINE LEGEND

---	UNDERGROUND POWER
---	SEASO EASEMENT
---	ADJACENT PROPERTY
---	RIGHT OF WAY
---	WETLAND
---	MATCHLINE
---	WATER MAIN
---	EXISTING CONTOURS

- NOTES AND REFERENCES**
1. THESE 9.64 ACRES CURRENTLY OWNED BY WE ARE SHARING HOPE SC. 9.64 ACRES SURVEYED AT THIS TIME.
 2. ACCORDING TO FLOOD INSURANCE RATE MAP(S) (FIRM) DATED 11/11/2004 THIS PROPERTY APPEARS TO BE IN A FLOOD ZONE (1) WHICH IS A SPECIAL FLOOD HAZARD AREA.
 3. REFERENCE A PLAT BY F. ELLIOTT QUINN II DATED SEPTEMBER 1, 2006 AND RECORDED IN THE CHARLESTON COUNTY FIRM IN BOOK 61 PAGE 302.
 4. REFERENCE A PLAT BY F. ELLIOTT QUINN II DATED OCTOBER 6, 2003 AND RECORDED IN THE CHARLESTON COUNTY FIRM IN BOOK 51 PAGE 759-756.
 5. REFERENCE A PLAT BY F. ELLIOTT QUINN II DATED AUGUST 17, 2003 AND RECORDED IN THE CHARLESTON COUNTY FIRM IN BOOK 51 PAGE 699.
 6. REFERENCE A PLAT BY JOHN T. SYDNES III DATED FEBRUARY 8, 2008 AND RECORDED IN THE CHARLESTON COUNTY FIRM IN BOOK 61 PAGE 151-151.
 7. THE PROPERTY OWNERS LINES ON THIS MAP WERE TAKEN FROM THE CHARLESTON COUNTY TAX RECORDS AS THEY ARE SHOWN AT THE TIME OF THIS SURVEY.
 8. THE HORIZONTAL DATUM USED IS BASED ON NAD 83 (2011) SHIFT. VERTICAL DATUM IS NAVD83.
 9. THIS PROPERTY IS AFFECTED BY TWO U.S. ARMY CORPS OF ENGINEERS LETTERS, SAC 2011-01 DATED JUNE 19, 2011 AND SAC 2010-01 DATED JANUARY 2, 2010.



CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS. THE PLANS SHOW ONLY THOSE UTILITIES AND DEPTHS INDICATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING MAJOR OPERATIONS. TO AVOID THE RISK OF DAMAGE TO ANY UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE TO THEIR ORIGINAL LOCATION AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL BE RESPONSIBLE TO THEIR ORIGINAL LOCATION AT THE CONTRACTOR'S RISK.



HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

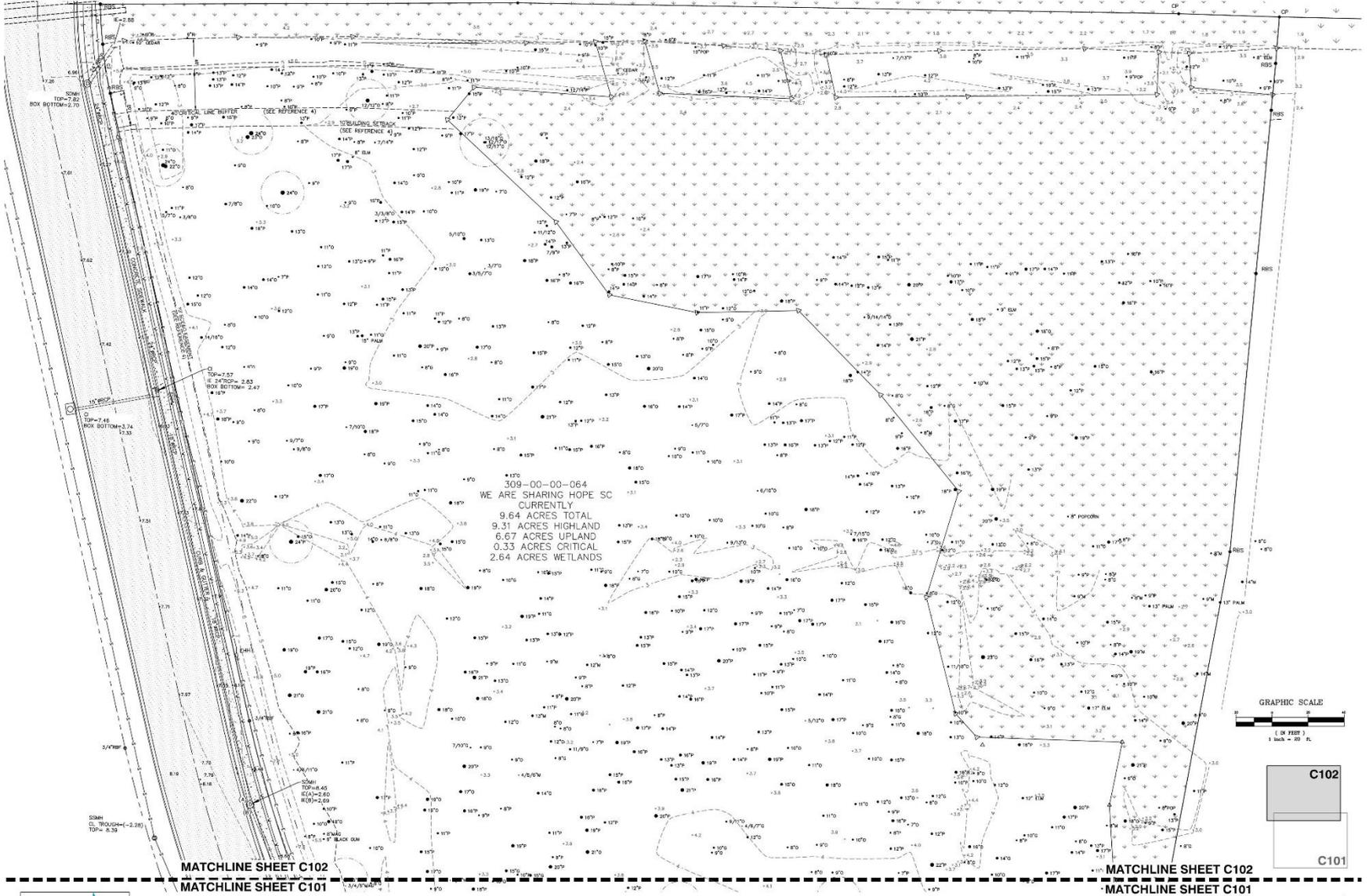
TIMOTHY W. MULL, P.L.S. NO. 22758



TOPOGRAPHIC SURVEY
 PRELIMINARY DRB
 JANUARY 8, 2020

C-101
 SHEET
 05

WE ARE SHARING HOPE SC



TOPOGRAPHIC SURVEY

C-102

PRELIMINARY DRB
 JANUARY 8, 2020

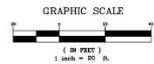
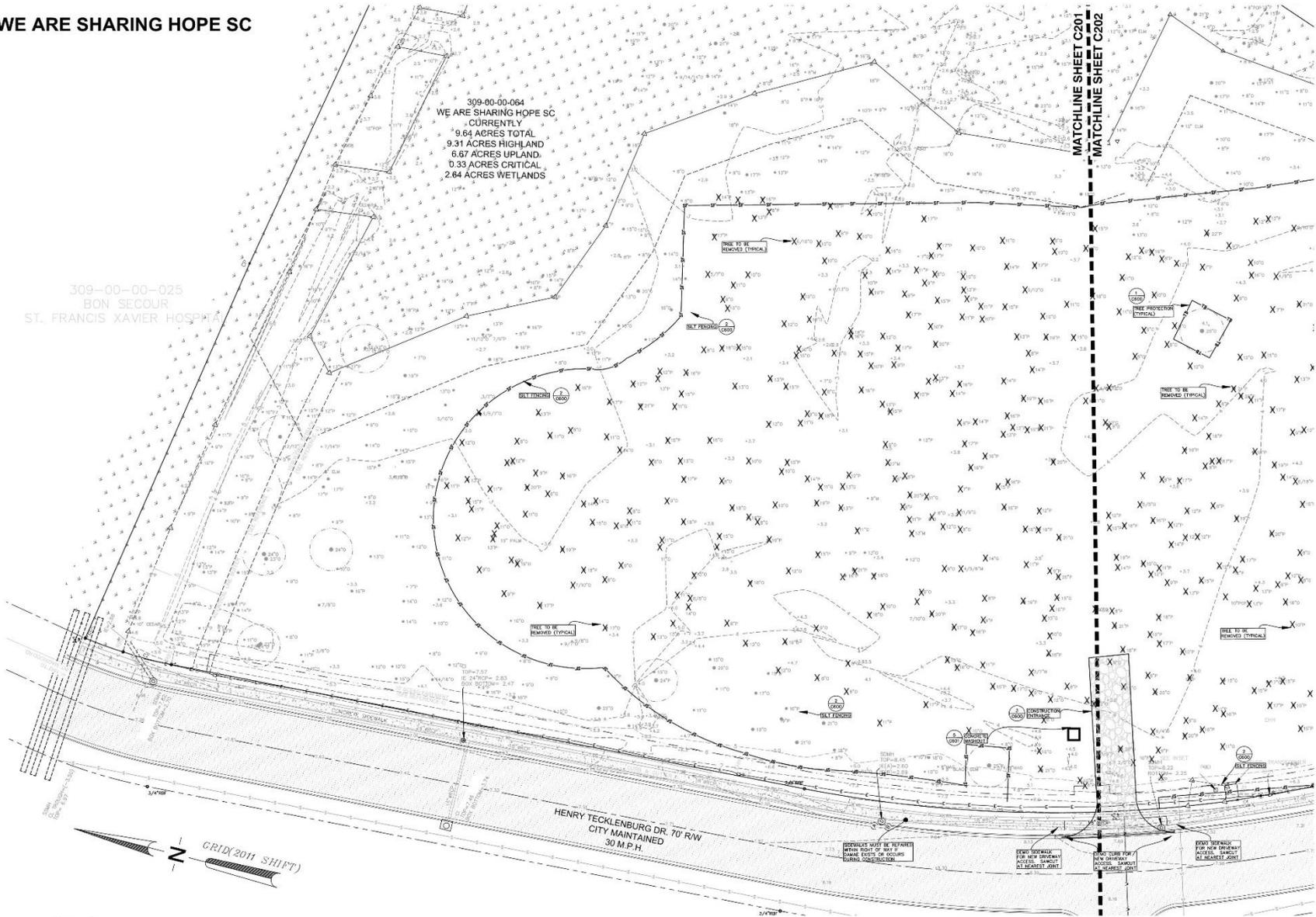
SHEET
 06

WE ARE SHARING HOPE SC

309-00-00-064
 WE ARE SHARING HOPE SC
 CURRENTLY
 9.64 ACRES TOTAL
 6.87 ACRES UPLAND
 0.33 ACRES CRITICAL
 2.64 ACRES WETLANDS

309-00-00-025
 BON SECOUR
 ST. FRANCIS XAVIER HOSPITAL

MATCHLINE SHEET C201
 MATCHLINE SHEET C202



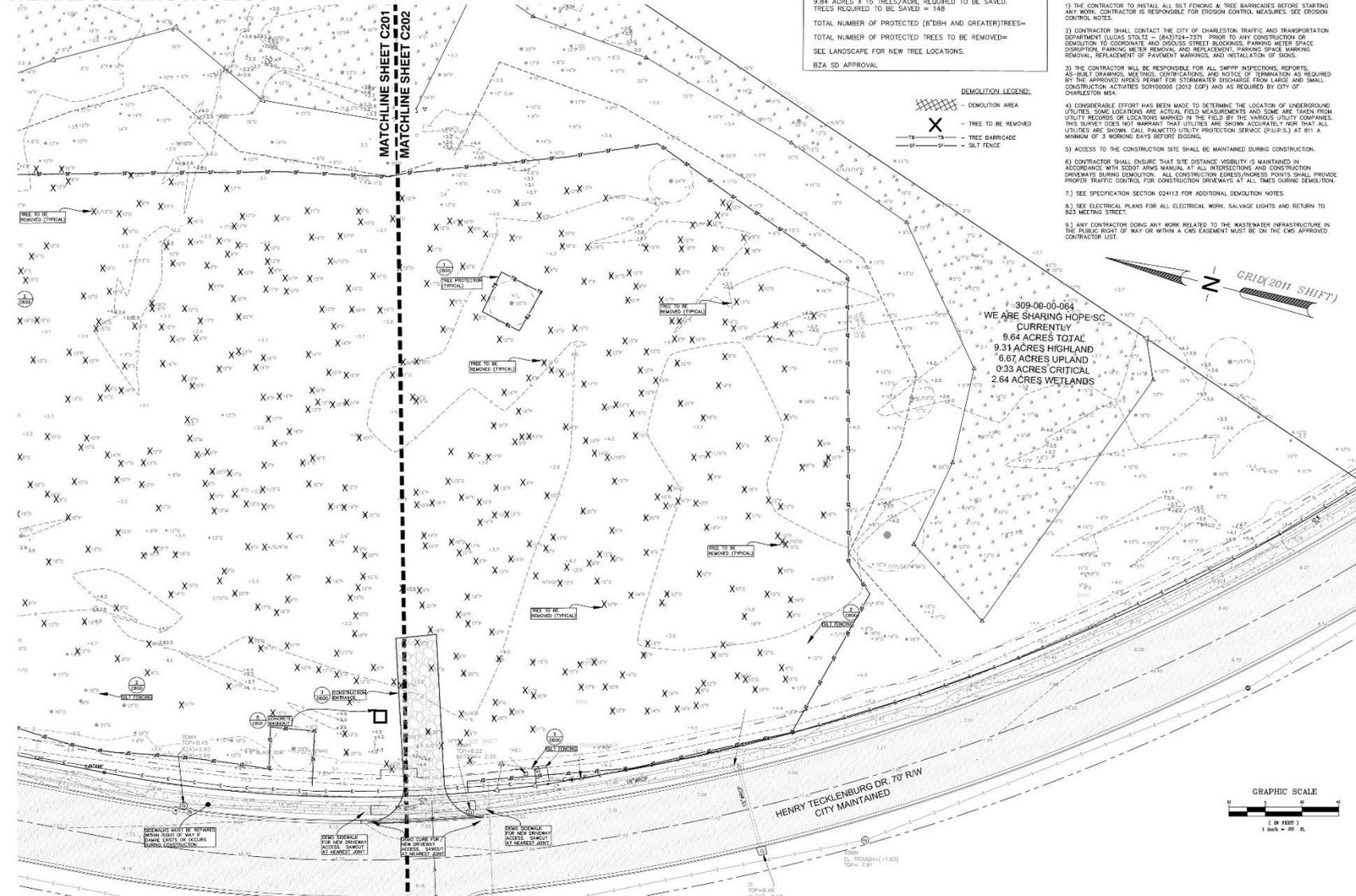
DEMOLITION PLAN

PRELIMINARY DRB
 JANUARY 8, 2020

C-201

SHEET
 07

WE ARE SHARING HOPE SC



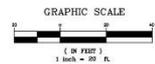
TREE SUMMARY:
 TOTAL AREA = 9.84 ACRES
 9.84 ACRES X 15 TREES/ACRE REQUIRED TO BE SAVED.
 TREES REQUIRED TO BE SAVED = 148
 TOTAL NUMBER OF PROTECTED (8"DBH AND GREATER) TREES =
 TOTAL NUMBER OF PROTECTED TREES TO BE REMOVED =
 SEE LANDSCAPE FOR NEW TREE LOCATIONS.
 B2A SDZ APPROVAL

DEMOLITION LEGEND:

 DEMOLITION AREA
 X - TREE TO BE REMOVED
 T - TREE BARRICADE
 F - SILT FENCE

- DEMOLITION NOTES:**
- 1) THE CONTRACTOR TO INSTALL ALL SILT FENCING & TREE BARRICADES BEFORE STARTING ANY WORK. CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES. SEE EROSION CONTROL NOTES.
 - 2) CONTRACTOR SHALL CONTACT THE CITY OF CHARLESTON TRAFFIC AND TRANSPORTATION DEPARTMENT (LUCAS STOLTZ - (843)724-7371) PRIOR TO ANY CONSTRUCTION OR DEMOLITION TO COORDINATE AND OBTAIN STREET BLOCKINGS, PARKING METER SPACE DISRUPTION, PARKING METER REMOVAL AND REPLACEMENT, PARKING SPACE MARKING REMOVAL, REPLACEMENT OF PAVEMENT MARKINGS, AND INSTALLATION OF SIGNS.
 - 3) THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SWPPP INSPECTIONS, REPORTS, AS-BUILT DRAWINGS, MEETINGS, CERTIFICATIONS, AND NOTICE OF TERMINATION AS REQUIRED BY THE APPROVED NPDES PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES S0100000 (2012 CDP) AND AS REQUIRED BY CITY OF CHARLESTON PERM.
 - 4) CONSIDERABLE EFFORT HAS BEEN MADE TO DETERMINE THE LOCATION OF UNDERGROUND UTILITIES. SOME LOCATIONS ARE ACTUAL FIELD MEASUREMENTS AND SOME ARE TAKEN FROM UTILITY RECORDS OR LOCATIONS MARKED IN THE FIELD BY THE VARIOUS UTILITY COMPANIES. THIS SURVEY DOES NOT WARRANT THAT UTILITIES ARE SHOWN ACCURATELY NOR THAT ALL UTILITIES ARE SHOWN. CALL PUNCTED UTILITY PROTECTION SERVICE (CUPUS) AT 811 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING.
 - 5) ACCESS TO THE CONSTRUCTION SITE SHALL BE MAINTAINED DURING CONSTRUCTION.
 - 6) CONTRACTOR SHALL ENSURE THAT SITE DISTANCE VISIBILITY IS MAINTAINED IN ACCORDANCE WITH SCOT RANGING MANUAL AT ALL INTERSECTIONS AND CONSTRUCTION DRIVEWAYS DURING DEMOLITION. ALL CONSTRUCTION EGRESS/INGRESS POINTS SHALL PROVIDE PROPER TRAFFIC CONTROL FOR CONSTRUCTION DRIVEWAYS AT ALL TIMES DURING DEMOLITION.
 - 7) SEE SPECIFICATION SECTION 024113 FOR ADDITIONAL DEMOLITION NOTES.
 - 8) SEE ELECTRICAL PLANS FOR ALL ELECTRICAL WORK, SALVAGE LIGHTS AND RETURN TO 823 MEETING STREET.
 - 9) ANY CONTRACTOR DOING ANY WORK RELATED TO THE WASTEWATER INFRASTRUCTURE IN THE PUBLIC RIGHT OF WAY OR WITHIN A CDS EASEMENT WILL BE IN THE CDS APPROVED CONTRACTOR LIST.

309-00-00-064
 WE ARE SHARING HOPE SC
 CURRENTLY
 9.84 ACRES TOTAL
 9.31 ACRES HIGHLAND
 6.67 ACRES UPLAND
 0.33 ACRES CRITICAL
 2.64 ACRES WETLANDS



DEMOLITION PLAN
 PRELIMINARY DRB
 JANUARY 8, 2020

C-202
 SHEET
 08

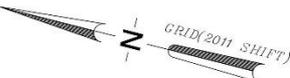
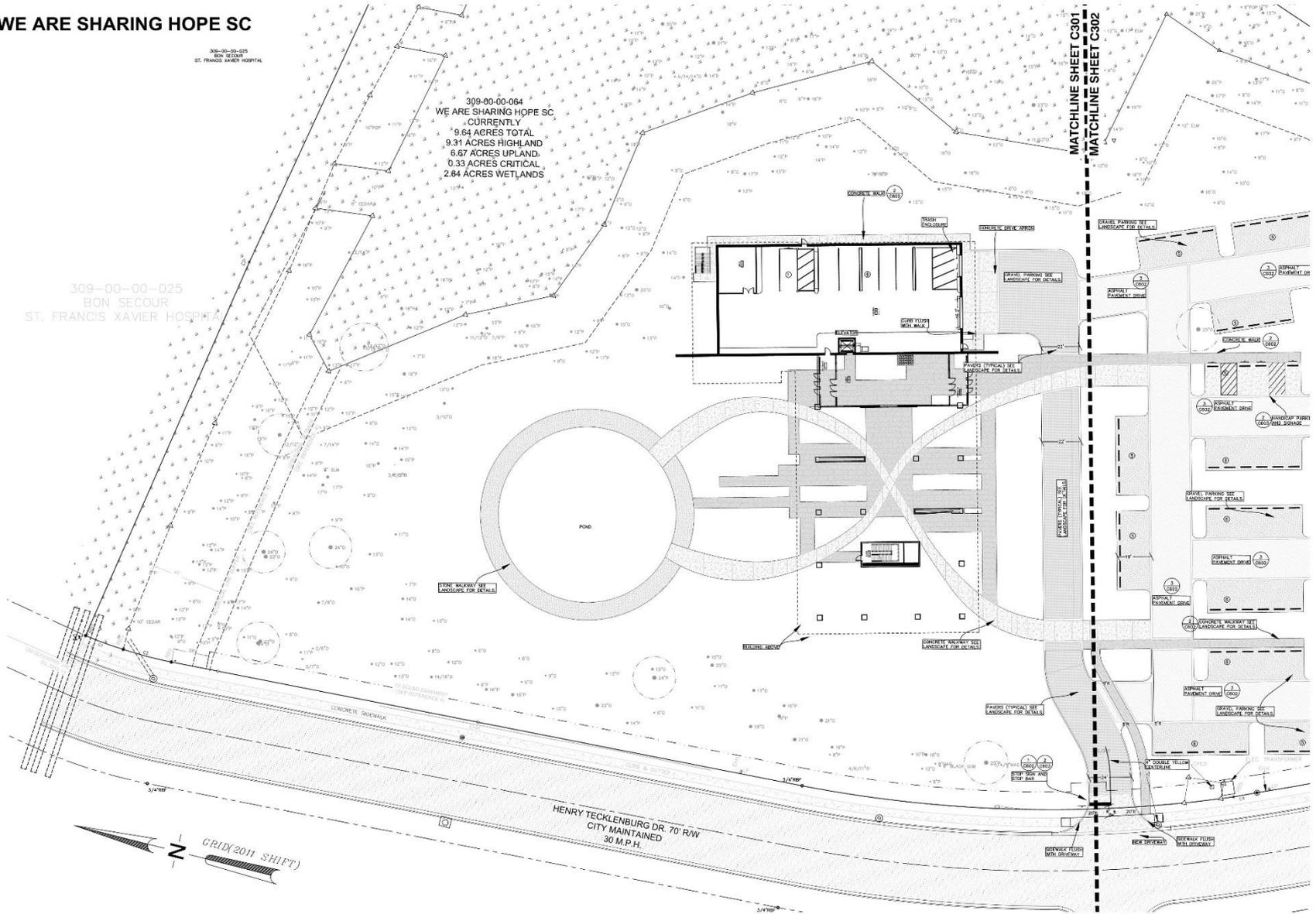
WE ARE SHARING HOPE SC

309-00-00-025
BON SECOUR
ST. FRANCIS XAVIER HOSPITAL

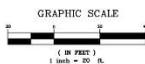
309-00-00-064
WE ARE SHARING HOPE SC
CURRENTLY
9.64 ACRES TOTAL
9.31 ACRES HIGHLAND
6.67 ACRES UPLAND
0.33 ACRES CRITICAL
2.84 ACRES WETLANDS

309-00-00-025
BON SECOUR
ST. FRANCIS XAVIER HOSPITAL

MATCHLINE SHEET C301
MATCHLINE SHEET C302



HENRY TECKLENBURG DR. 70' R/W
CITY MAINTAINED
30 M.P.H.

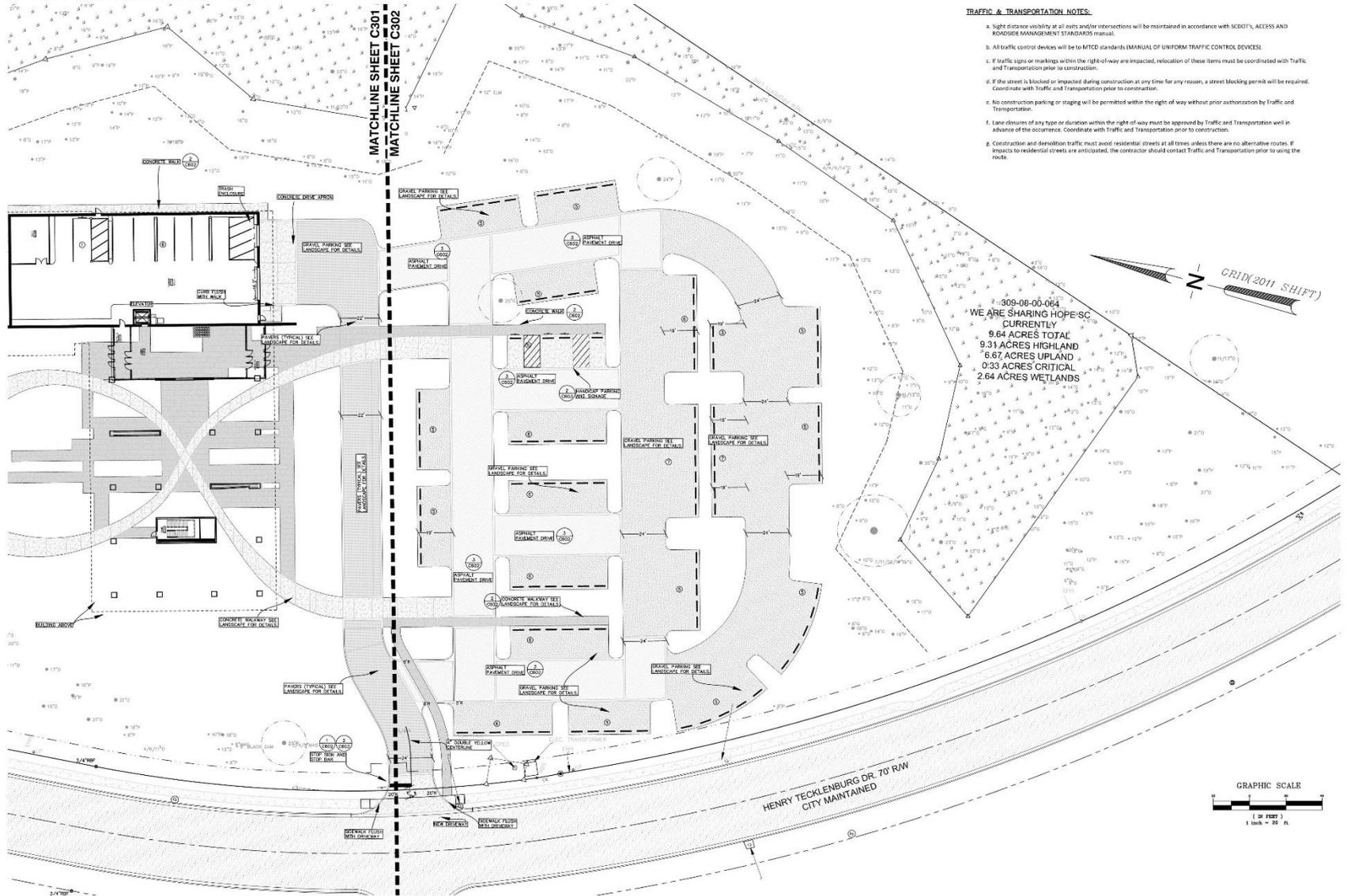


NEW SITE PLAN
PRELIMINARY DRB
JANUARY 8, 2020

C-301
SHEET
09



WE ARE SHARING HOPE SC



TRAFFIC & TRANSPORTATION NOTES:

- Sight distance visibility at all exits and/or intersections will be maintained in accordance with SCOTD's ACCESS AND ROADSIDE MANAGEMENT STANDARDS manual.
- All traffic control devices will be to MUTCD standards (MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES).
- If traffic signs or markings within the right-of-way are impacted, relocation of these items must be coordinated with Traffic and Transportation prior to construction.
- If the street is blocked or impacted during construction at any time for any reason, a street blocking permit will be required. Coordinate with Traffic and Transportation prior to construction.
- No construction parking or staging will be permitted within the right of way without prior authorization by Traffic and Transportation.
- Lane closures of any type or duration within the right of way must be approved by Traffic and Transportation well in advance of the occurrence. Coordinate with Traffic and Transportation prior to construction.
- Construction and demolition traffic must avoid residential streets at all times unless there are no alternative routes. If impacts to residential streets are anticipated, the contractor should contact Traffic and Transportation prior to using the route.

909-00-00-064
WE ARE SHARING HOPE-SC
 CURRENTLY
 9.64 ACRES TOTAL
 9.31 ACRES HIGHLAND
 6.67 ACRES UPLAND
 0.33 ACRES CRITICAL
 2.64 ACRES WETLANDS



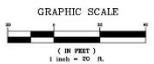
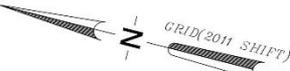
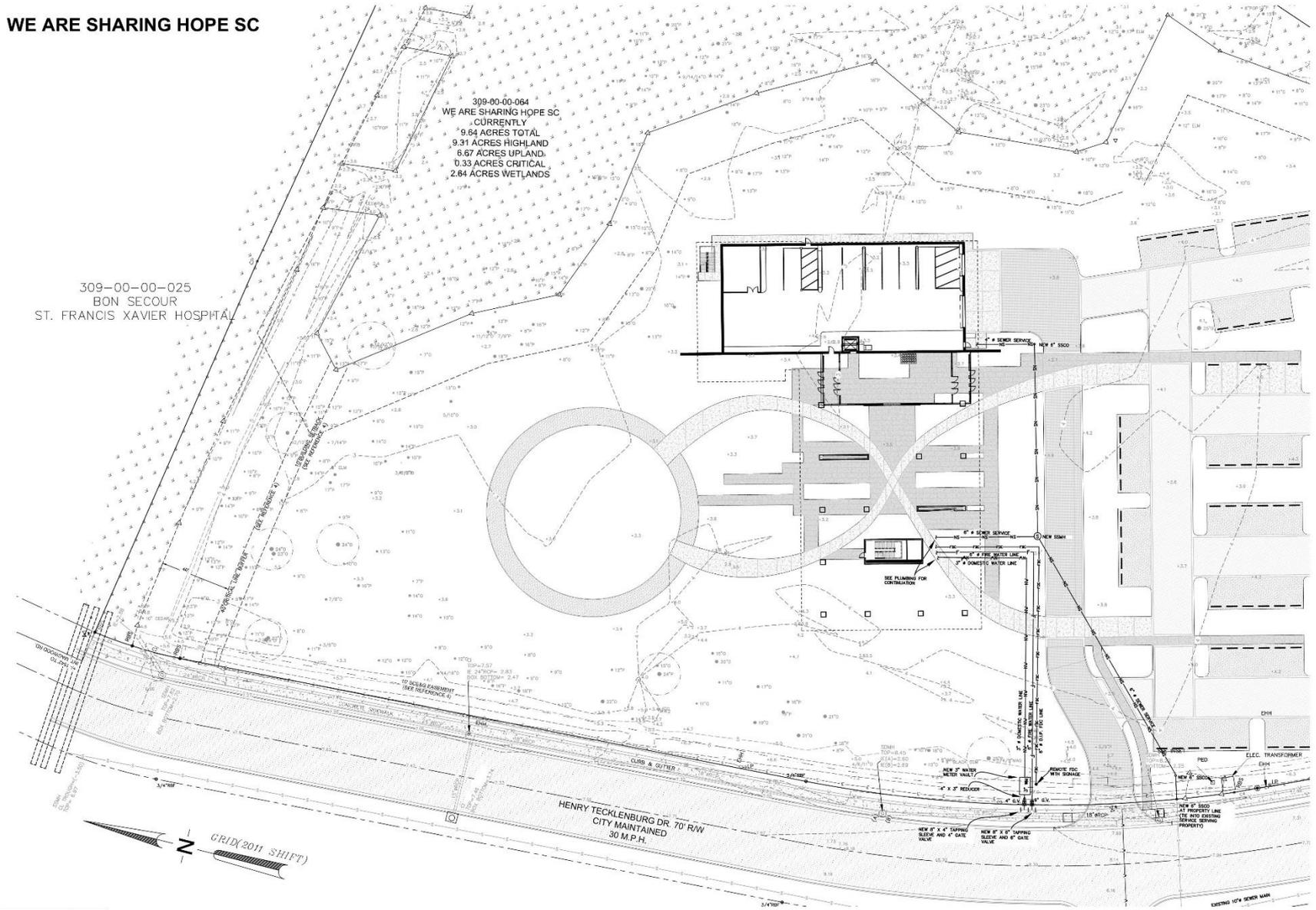
NEW SITE PLAN
 PRELIMINARY DRB
 JANUARY 8, 2020

C-302
 SHEET
 10

WE ARE SHARING HOPE SC

309-00-00-025
 BON SECOUR
 ST. FRANCIS XAVIER HOSPITAL

309-00-00-064
 WE ARE SHARING HOPE SC
 CURRENTLY
 9.94 ACRES TOTAL
 6.67 ACRES UPLAND
 0.33 ACRES CRITICAL
 2.84 ACRES WETLANDS



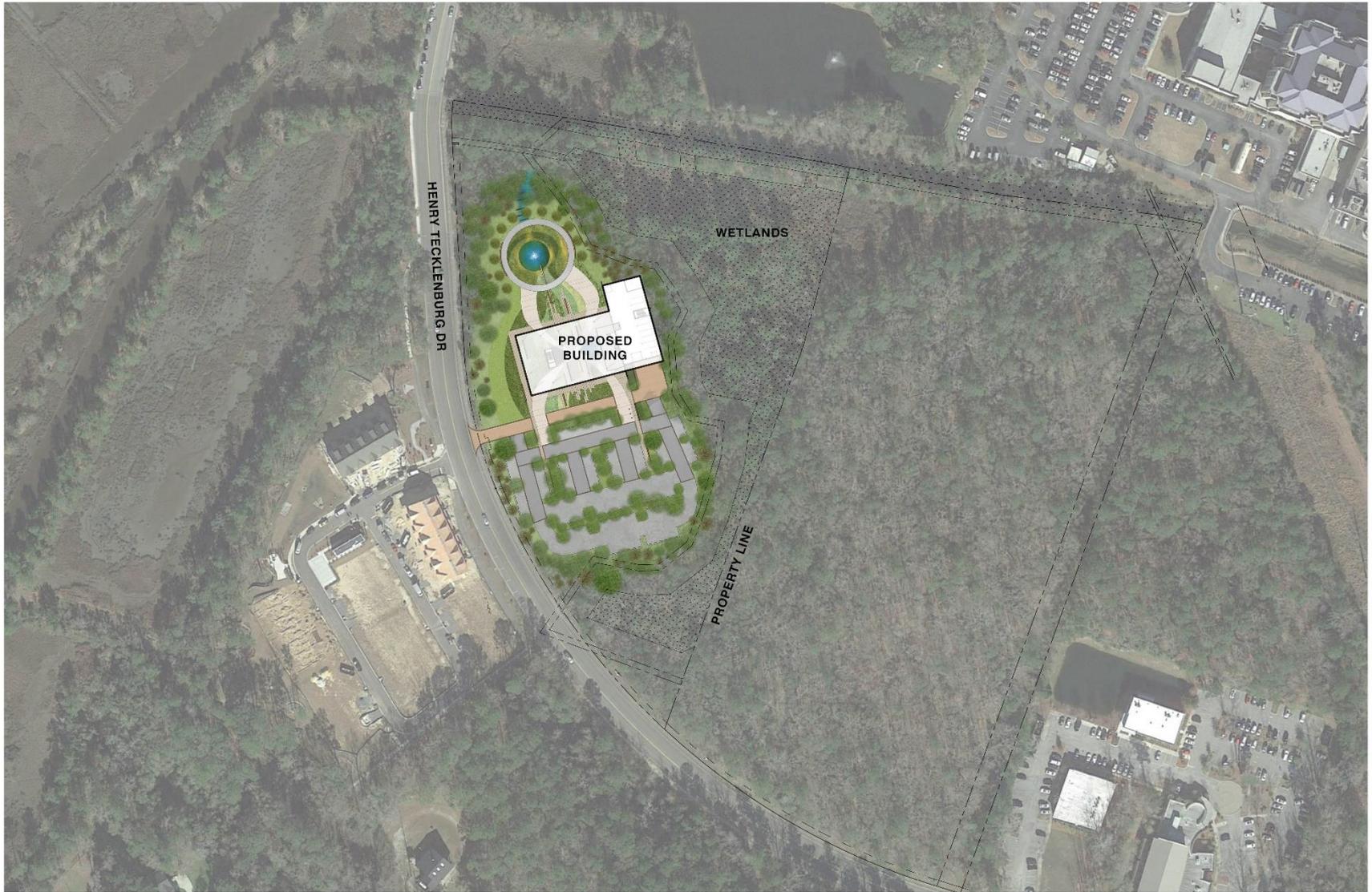
NEW UTILITY PLAN

PRELIMINARY DRB
 JANUARY 8, 2020

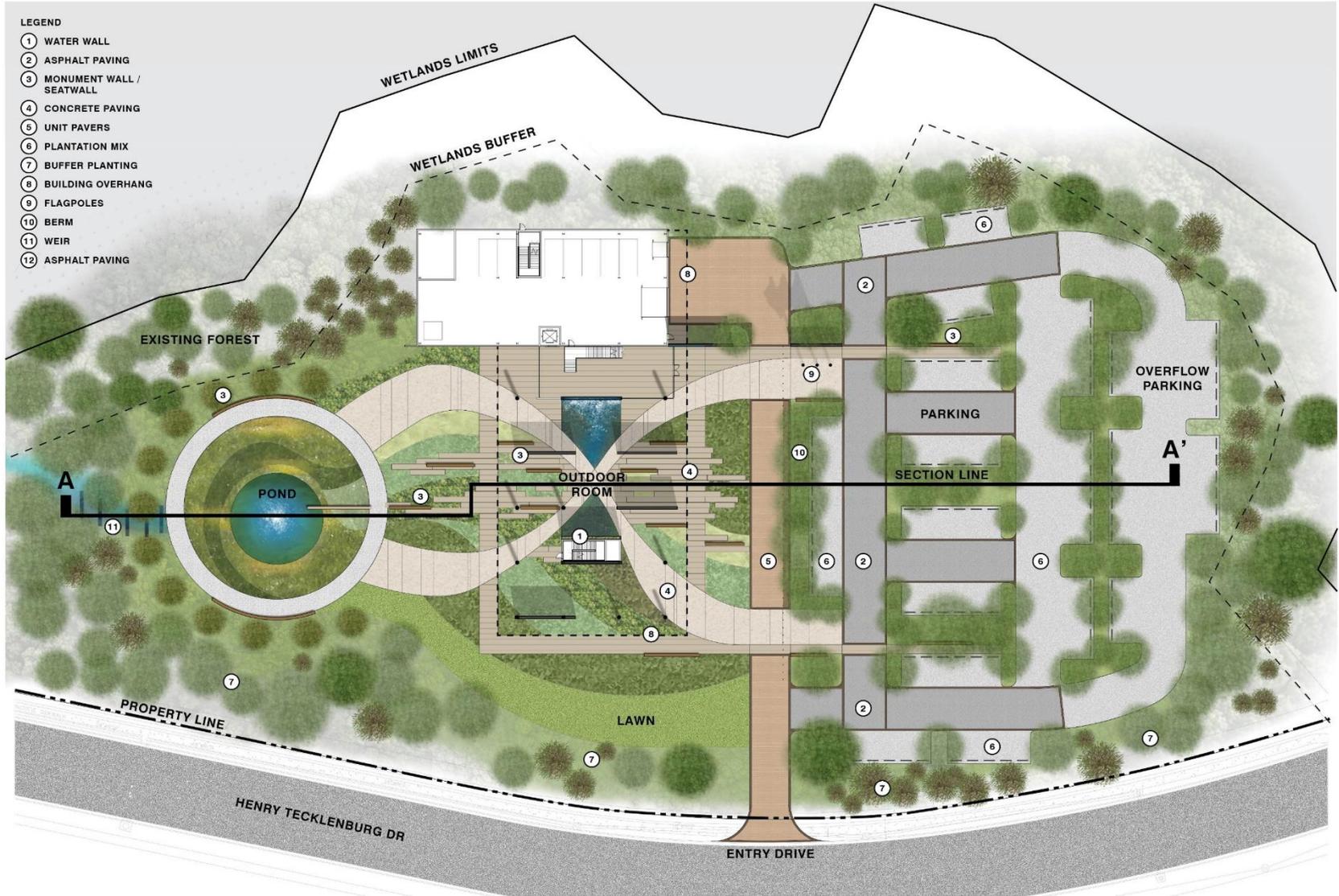
C-401

SHEET
 11

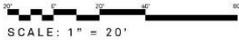
WE ARE SHARING HOPE SC



WE ARE SHARING HOPE SC



- LEGEND**
- ① WATER WALL
 - ② ASPHALT PAVING
 - ③ MONUMENT WALL / SEATWALL
 - ④ CONCRETE PAVING
 - ⑤ UNIT PAVERS
 - ⑥ PLANTATION MIX
 - ⑦ BUFFER PLANTING
 - ⑧ BUILDING OVERHANG
 - ⑨ FLAGPOLES
 - ⑩ BERM
 - ⑪ WEIR
 - ⑫ ASPHALT PAVING



ILLUSTRATIVE ENLARGEMENT PLAN

L-001

PRELIMINARY DRB
JANUARY 8, 2020

**SHEET
13**





FOREST EDGE/BUFFER

WEIR

PATH

POND OVERFLOW
PIPE

BENCH ON
BOARDWALK

CIRCULAR POND
WITH FOUNTAIN

RIPARIAN EDGE
PLANTINGS

BOARDWALK

SEATWALL

WE ARE SHARING HOPE SC



SUN TOLERANT PLANTINGS PAVED WALKWAY SEATWALL BETWEEN COLUMNS MEMORIAL WALL SHADE TOLERANT PLANTINGS WATER WALL MEMORIAL WALL SEATWALL SIGNAGE SUN TOLERANT PLANTINGS DROP OFF LANE SIDEWALK BERM



NORTH



ILLUSTRATIVE SECTION ELEVATION
 OUTDOOR ROOM ENLARGEMENT
 PRELIMINARY DRB
 JANUARY 8, 2020

L-004
 SHEET
 16

WE ARE SHARING HOPE SC



PARKING BEHIND
BERM

DRIVE LANE

BUFFER PLANTINGS

PARKING STALLS

DRIVE LANE

PARKING STALL

PARKING STALL

DRIVE LANE



ILLUSTRATIVE SECTION ELEVATION
PARKING AREA ENLARGEMENT
PRELIMINARY DRB
JANUARY 8, 2020

L-005
SHEET
17

PAVING INSPIRATION

LAYERED PAVING AND PLANTING



LINEAR SEATWALLS/BENCHES



STRONG MATERIAL CONTRASTS



BOARDWALK AROUND POND



ORGANIC, CURVING PATHWAYS

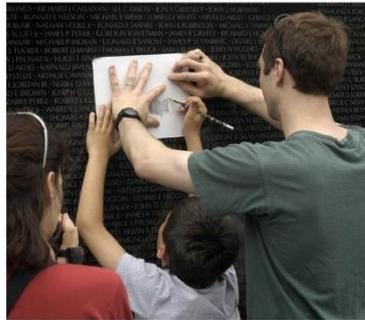


WATER WALL UNDER BUILDING



SITE ELEMENTS

MEMORIAL WALLS UNDER BUILDING



CIRCULAR POND



BIOSWALES



PERMEABLE PARKING



SHADE TOLERANT PLANTS

DWARF MONDO GRASS



HOLLY FERN



SOFT CARESS MAHONIA



HOSTA



ROYAL FERN



ACANTHUS PLANT



CAST IRON PLANT



AUTUMN FERN



MAIDENHAIR FERN



DWARF BAMBOO



SOUTHERN SHIELD FERN



BLACK-STEMMED BAMBOO



SUN & DROUGHT TOLERANT PLANTS

ROSEMARY



CREeping OREGANO



DWARF MEDITERRANEAN SPURGE



DUNE SUNFLOWER



BULBINE



PANICUM/SWITCHGRASS



ADAM'S NEEDLE YUCCA



LITTLE BLUESTEM



TREES, FOREST EDGE, & POND PLANTS

BALD CYPRESS



LIVE OAK



JAPANESE MAPLE



RIVER BIRCH



WEeping YAUPON HOLLY



AMERICAN BEAUTYBERRY



WAX MYRTLE



VIRGINIA SWEETSPIRE



NATIVE HIBISCUS



LOUISIANA IRIS



JUNCUS, COMMON RUSH



PAPYRUS



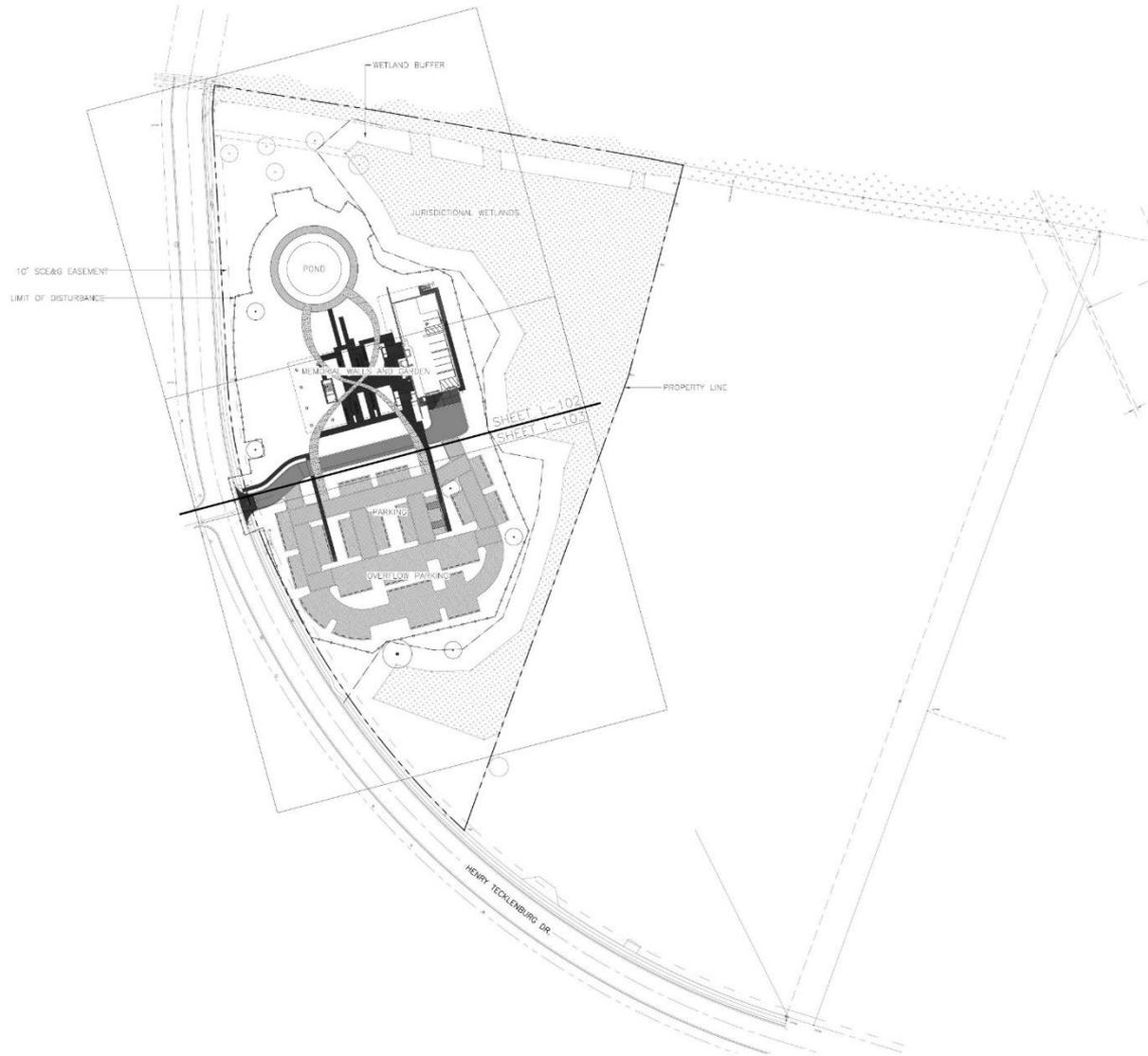
HORSETAIL RUSH

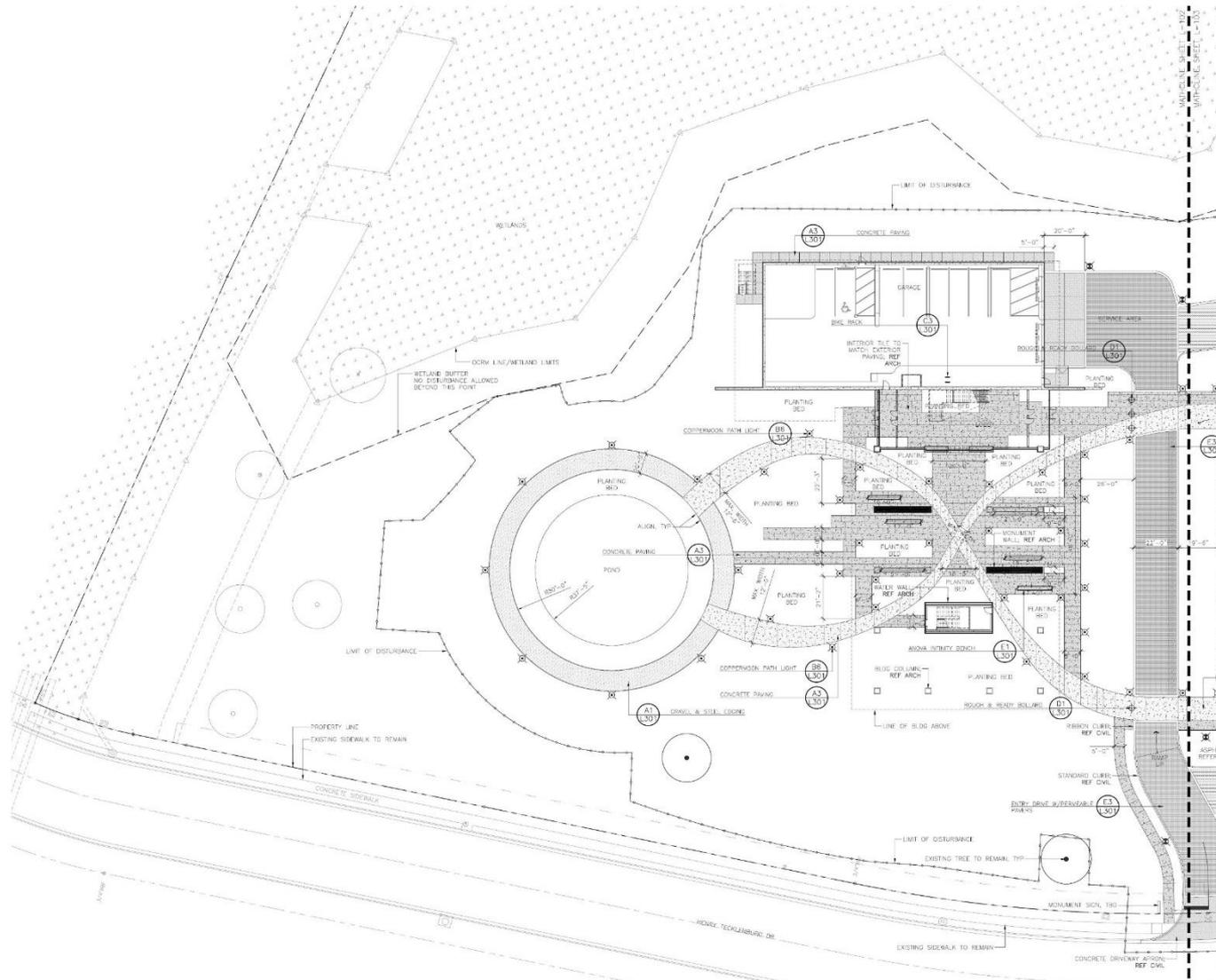


SILVER SAW PALMETTO



WE ARE SHARING HOPE SC

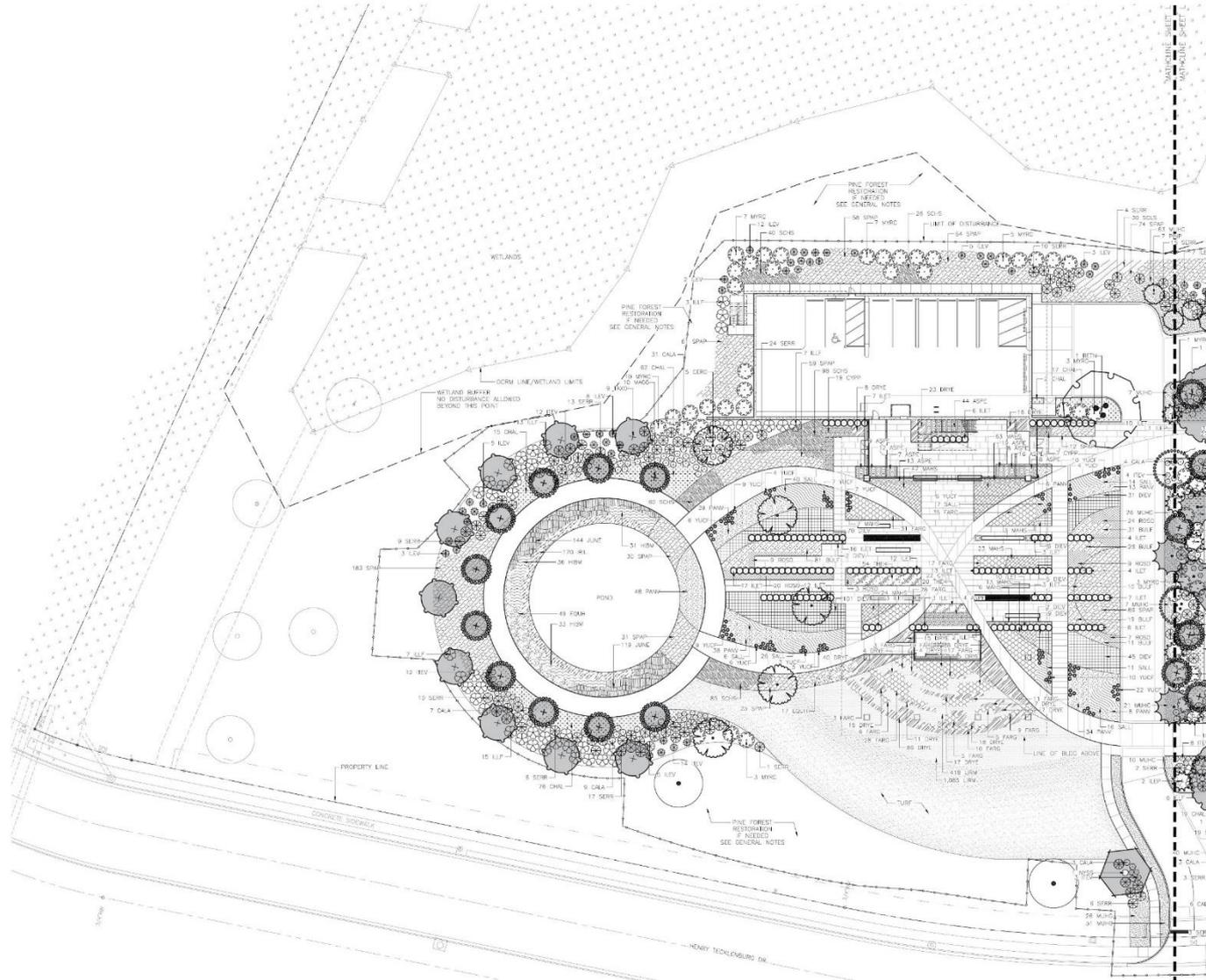




- GENERAL NOTES**
1. ALL SITE INFORMATION, INCLUDING ROADS, RIGHTS-OF-WAY, PROPERTY LINES, UTILITIES, EXISTING TREES, TOPOGRAPHY AND GEODATA, SHALL BE THE PROPERTY OF THE CLIENT. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED BY THE CLIENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO THE BEGAINING OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AS A RESULT OF THE WORK. CONTACT PUBLIC UTILITY COMPANIES TO OBTAIN LOCATION DATA AT LEAST 72 HOURS PRIOR TO THE BEGAINING OF WORK.
 2. THE CONTRACTOR SHALL MAINTAIN ALL GRASSES AREAS, INCLUDING THE REPAIR OF EXISTING AREAS, UNTIL GRADE HAS REACHED THE LEVEL OF FINAL ACCEPTANCE AND THROUGHOUT MAINTENANCE CONTRACT PERIOD.
 3. ALL EXISTING TREES TO REMAIN WILL HAVE TREE BARRICADES INSTALLED. BARRICADES SHALL BE INSTALLED PRIOR TO THE BEGAINING OF WORK. ALL WORK IN WOOD AREAS IS TO BE DONE BY WOOD HANDS. SHALL BE INSTALLED AND KEPT IN PLACE AT ALL TIMES.
 4. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED, AND GRASED.
 5. PROOF OF EROSION CONTROL MEASURES SHALL BE SUBMITTED PRIOR TO THE BEGAINING OF WORK AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 6. FINAL GRADING OF THE SITE IS TO BE PROVIDED ALL NECESSARY LICENSES AND INSURANCE TO COMPLETE WORK.
 7. FINAL GRADING OF THE SITE AS A RESULT OF LANDSCAPE DIMENSIONS AND ALL FINAL GRADING SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 8. IN ORDER TO KEEP ALL SIDS STANDARD, ESTIMATED UNIT PRICES MUST BE OBTAINED FROM THE LOCAL MARKET AS STATED IN PLANS. SCHEDULE THESE ESTIMATED UNIT PRICES SHOULD BE WITHIN A NORMAL NURSERY INDUSTRY RANGE.
 9. CONTRACTOR SHALL VERIFY RIGHT OF WAY.
 10. CONTRACTOR SHALL VERIFY ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 11. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND QUANTITIES TO THESE SHALL BE NO SUBSTITUTION, DELETIONS, OR ADDITIONS WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT.
 12. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS.
 13. NOTIFY LANDSCAPE ARCHITECT IF PROPOSED PLANTING AFFECTS EXISTING DRAINAGE PATTERNS. FULL COORDINATION WILL BE REQUIRED.
 14. ALL EXISTING CONTRACTED TREES SHALL BE MAINTAINED IN SITU BY ALL EXISTING CONTRACTORS. TREE REMOVAL SHALL BE RESPONSIBLE FOR ANY DAMAGE TO TREES.
 15. ALL PROPOSED PAVING LOT LOCATING REQUIREMENTS APPROVED AND ADOPTED LIGHTING PLAN FROM COMMUNITY ENERGY PRIOR TO ANY ASSOCIATED LIGHTING CONSULTATION. CONTRACTOR RESPONSIBLE FOR INCLUDING ALL CONSULTATION IN ACCORDANCE WITH COMMUNITY ENERGY SPECIFICATIONS.
 16. ALL CONSTRUCTION TO BE INSPECTED BY THE PROPERTY LISTING OFFICIALS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR OBTAINING CONSENT TO CONSTRUCTION.
 17. PLANTING AREAS DESIGNATED AS "THE FINEST RESTORATION" TO BE TREATED AS FOLLOWS: REMOVE ALL EXISTING TREES, BRUSH, LIMBS, AND ROOTS. CONTRACTOR TO PRODUCE AND PROTECT ALL VEGETATION IN THESE AREAS WITH THE EXCEPTION OF REMAINING SPECIES. NOTIFY LANDSCAPE ARCHITECT IF THERE ARE ANY CONCERNS REGARDING SITE IDENTIFICATION.
 18. ALL EXISTING PRESERVED TREES TO BE PROTECTED AND TREATED BY A CERTIFIED ARBORIST PRIOR TO COMMENCEMENT OF CONSTRUCTION. TREATMENTS MAY INCLUDE BUT NOT LIMITED TO: STAMP, BRUSH, REMOVAL, ROOT PRUNING, AND USE OF ROOT BARRIERS. ALL TREE ROOTS IF ENCOUNTERED MUST BE PROTECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING TREES IN NEW ADJACENT SHALL BE SUPERVISED BY A CERTIFIED ARBORIST. WORK IN ROOT ZONES TO BE SUPERVISED BY HAND WHERE POSSIBLE AND MAY REQUIRE USE OF AIR SPACE AND OTHER METHODS.

- MATERIALS LEGEND**
- CONCRETE PAVING TYPE 1
FULL FINISH
 - CONCRETE PAVING TYPE 2
COLOR ADDED WITH SPECIALTY FINISH
 - CONCRETE PAVING TYPE 3
STANDARD BRUSH FINISH
 - PERVIOUS VENTILATED PAVEMENT TYPE 1
WITH FLUSH CONCRETE CURB
 - PERVIOUS VENTILATED PAVEMENT TYPE 2
WITH FLUSH CONCRETE CURB
 - ASPHALT PAVING
 - PLANTATION MIX
WITH VENTILATED SUB BASE
 - WHEEL STOP (CONCRETE)
 - GEARWALL - REF ARCH
 - RAILS - REF ARCH
 - ENCLOSURE

- NOTING LEGEND**
- ASPHALT REFER TO
 - PARKING LOT POLE LIGHT
 - POLE LIGHT



- GENERAL NOTES**
1. ALL BISE INFORMATION, INCLUDING ROADS, RIGHTS-OF-WAY, PROPERTY LINES, UTILITIES, EXISTING TREES, TOPOGRAPHY AND CONICAL SPECIES, LINE AND DISTANCE FROM PLAN PREPARED BY FORECAST ENGINEERING AND SURVEYING, INC. AND PROVIDED BY THE CLIENT. RESTORATION, I.C. ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS INFORMATION.
 2. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO THE BEGINNING OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO UTILITIES AS A RESULT OF THE WORK. CONTACT PLANNED UTILITIES PROTECTIVE SERVICE AT 1-800-721-7277 A MINIMUM OF 3 WORKING DAYS BEFORE DIGGING.
 3. THE CONTRACTOR SHALL MAINTAIN ALL GRASSES AREAS, INCLUDING THE REPAIR OF EXISTING AREAS, UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE AND THROUGHOUT MAINTENANCE CONTRACT PERIOD IF APPLICABLE.
 4. ALL EXISTING TREES TO REMAIN WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF CONSTRUCTION. OTHER THAN ALL WORK IN THESE AREAS IS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
 5. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION ACTIVITIES ON OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRASSED, AND GRASSED.
 6. PROVIDE EROSION CONTROL WHERE SLOPES ARE GREATER THAN 2:1 AND WHERE EROSION RISKS ARE OCCURRING.
 7. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY LICENSES AND PERMITS FOR CONSTRUCTION AS A RESULT OF LANDSCAPE CONDITIONS AND ALL THE WORKING SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 8. IN ORDER TO KEEP ALL BIDS STANDARD, ESTIMATED UNIT PRICES MUST BE GIVEN ON PLANT TYPE AND SIZE AS LISTED IN PLANT SCHEDULE. THESE ESTIMATED UNIT PRICES SHOULD BE WITHIN A NORMAL NURSERY INDUSTRY PRICING RANGE.
 9. CONTRACTOR SHALL ENSURE PROPER DRAINAGE.
 10. CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
 11. CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES AND QUANTITIES.
 12. THERE SHALL BE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT.
 13. ALL CONSTRUCTION SHALL COMPLY TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS.
 14. NOTIFY LANDSCAPE ARCHITECT IF PROPOSED PLANTING AFFECTS EXISTING DRAINAGE SYSTEMS. FIELD MODIFICATION WILL BE REQUIRED.
 15. ALL EXISTING STREET LIGHT POLES SHALL BE PROTECTED IN SITU BY BRASSAGE TO PILES.
 16. ALL EXISTING UTILITIES (E.G. POWER, GAS, WATER) SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PILES.
 17. ALL EXISTING UTILITIES (E.G. POWER, GAS, WATER) SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PILES.
 18. ALL EXISTING UTILITIES (E.G. POWER, GAS, WATER) SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PILES.
 19. ALL EXISTING UTILITIES (E.G. POWER, GAS, WATER) SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PILES.
 20. ALL EXISTING UTILITIES (E.G. POWER, GAS, WATER) SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PILES.

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E1 ANOVA INFINITY BENCH
N.T.S. P-34-45

MANUFACTURER: ANOVA
MODEL: INFINITY
FINISH: THERMOPLASTIC PLANKS
800-426-4242
WWW.MANUFACTURER.COM
NOTE: SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

E3 ENTRY DRIVE W/PERMEABLE PAVERS
1" = 1'-0" P-34-46

MATERIAL: VARIES, SEE RIBBON CURB DETAIL
EXPANSION JOINT
1/2" JOINT FILLER WITH 1/2" SPAC. SPACED AS REQUIRED, NO FIBER (TYP)
REFER TO PLAN FOR PATTERNS AND FINISH LAYOUT
4" x 8" PERMEABLE PAVES FROM MANUFACTURER
VEHICULAR ACCESSORY BASE REFER TO CIVIL
RIBBON CURB REFER TO CIVIL
COMPACTED SUBGRADE

MANUFACTURER: HANOVER ARCHITECTURAL PRODUCTS
MODEL: 4" x 8" PERMEABLE PAVES
FINISH: TYP. 1 PAVER TO 10% MATERIAL/COLORED BLEND, TYP. 2 PAVER TO 90% ORIGINAL TYP.
800-426-4242
WWW.MANUFACTURER.COM
NOTE: SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

D1 ROUGH & READY BOLLARD
N.T.S. P-34-43

MANUFACTURER: STEELITE
MODEL: DURE-500-75-07
FINISH: POLISHED 304/316 STAINLESS STEEL FRAME
8-66-565-3533
WWW.MANUFACTURER.COM
NOTE: SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

C3 BIKE RACK
1" = 1'-0" P-34-44

SECTION: BIKE RACK
PLAN: BIKE RACK

RYT RACK MANUFACTURER'S PART NO. 1500-000-001
FINISH: SEE MANUFACTURER'S INSTRUCTIONS
FINISH FLOOR SURFACE
CONCRETE FOOTER

MANUFACTURER: RYBAC
MODEL: CYRUS 100147
FINISH: GR. TYP. POLYURETHANE GREY
REGIONAL CONTACT: SEE HANOVER GROUP, INC.
PO BOX 402
MAYFIELD, NJ 08053
761-367-1818
WWW.STEELANDPRODUCT

B1 CONCRETE RIBBON CURB
1" = 1'-0" P-34-41

RIBBON CURB AT CONCRETE & ASPHALT
RIBBON CURB AT GRAVEL & ASPHALT
RIBBON CURB AT CONCRETE & PAVERS
RIBBON CURB AT PAVERS & ASPHALT
RIBBON CURB AT PLANTING & PAVERS
RIBBON CURB AT CONCRETE & ASPHALT

A3 CONCRETE PAVING
1" = 1'-0" P-34-43

SECTION
PLAN

1/2" BROOM FINISH CONCRETE WALK, 3000 PSI @ 28 DAYS, SEE SPEC. (1" BELOW TOP OF FINISH) OR 1" (1/2" FOR WALK) (SEE SPEC.)
#4-11" SIP (MINIMUM 18" DIA. CREATE OVER END)
1/2" NON-METALLIC EXPANSION JOINT BY CLASSTONIC SQUARE
1/2" SAW CUT CONTRACTION JOINT
THICKEN SLAB TO 4" AT EXPANSION JOINTS
COMPACTED SUBGRADE TO 3000 PSI PROCTOR

NOTES:
1. REFER TO LAYOUT PLAN FOR LOCATION OF VARIOUS FINISHES.
2. REFER TO CIVIL DRAWINGS FOR CONCRETE RECEIVING VEHICULAR TRAFFIC.

A1 GRAVEL & STEEL EDGING
1" = 1'-0" P-34-43

SECTION
PLAN

PLANTATION MIX TO BE SAVED AT QUALITY
SIZE 4/8" SIEVE, 100% WASHED CHANNEL SCREENINGS INSTALLED IN 1 1/2" LIFTS
STEEL EDGING MIN. 4" THICK, COLOR BLACK, 4" HIGH & 4" AT LEAST 18" LONGERS W/OVERLAPPING AND INTERLOCKING JOINTS.
ANCHORING STAPLES SIMILAR MATERIAL AS EDGING, 36"-18" LONG AND TAPERED

NOTES:
1. RIBS SHALL BE A MIN. OF 3" UNLESS OTHERWISE INDICATED.
2. REFER TO SPECIFICATIONS FOR MORE DETAILS/INSTRUCTIONS.

B6 COPPERMOON PATH LIGHT
N.T.S. P-34-43

MANUFACTURER: COPPERMOON
MODEL: SLM2018
FINISH: GR. UNFINISHED AND LED COMPATIBLE
1500V, 1500V, 1500V
800-426-4242
WWW.COPPERMOON.COM

NOTE: SEE MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION.

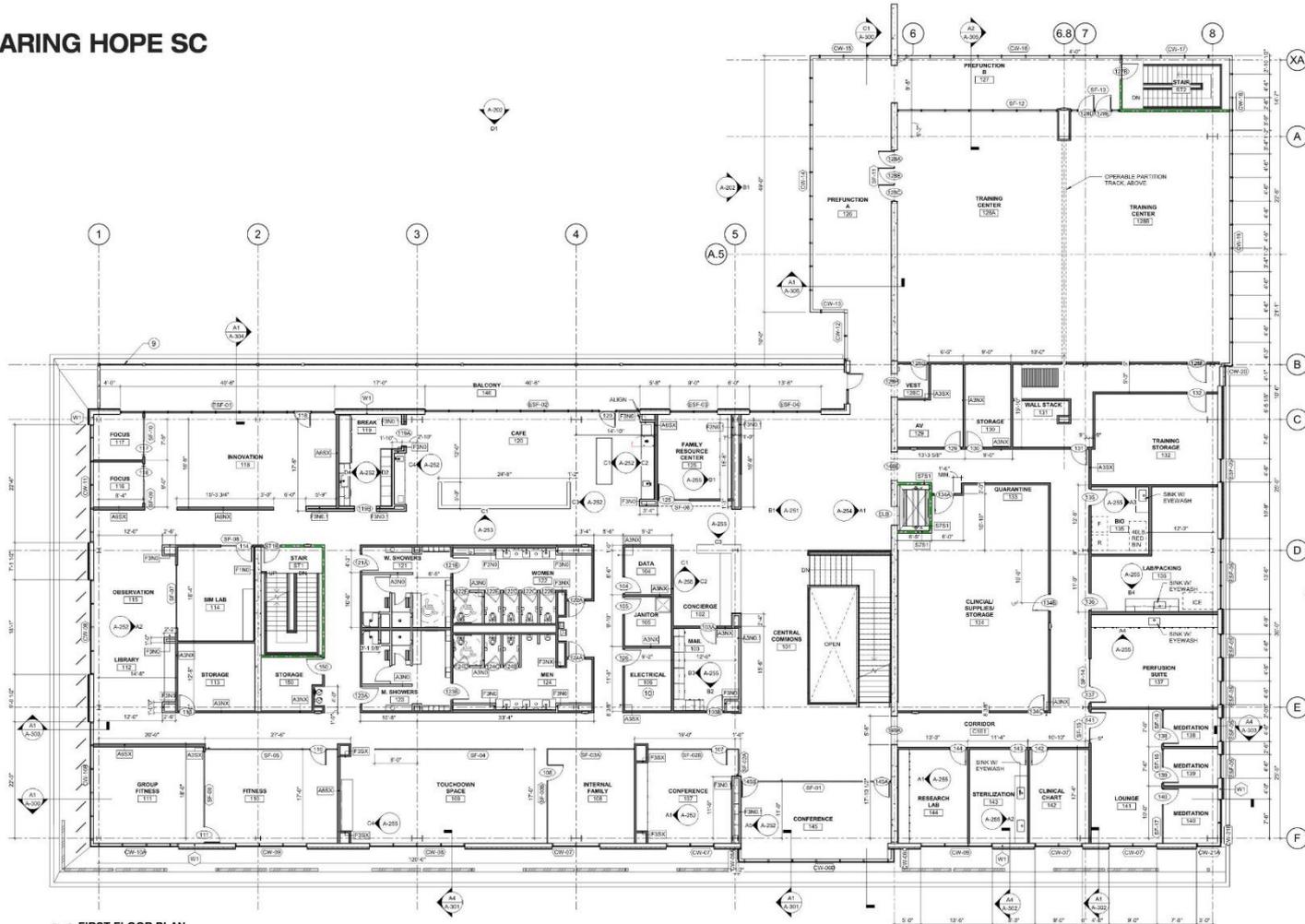
A6 EXPANSION JOINT
1" = 1'-0" P-34-44

SECTION

1/2" EXPANSION JOINT INSTALLED BETWEEN ALL PAVING SURFACES, WALKS AND ALL PAVING FROM JOINT SHALL BE 48" WIDENED PREFORMED JOINT FILLER COMPLYING WITH ASTM A 713 AND INSTALLED AT FULL DEPTH OF PAVING (SEE SPEC. 312.03). SET JOINT MATERIAL 1/2" BELOW FINISH SURFACE, 1/2" BELOW PLANTING SOIL TO BE FINISHED FLUSH WITH ADJACENT PAVING ABOVE JOINT FILLER, SAND/GRANULOM REFINED (RP2107) OR EQUAL.

BROOM FINISHED CONCRETE WALK, 3000 PSI @ 28 DAYS (SEE SPEC. 3013.13) (OR OTHER PRECAST TYPE, SEE LAYOUT PLAN)

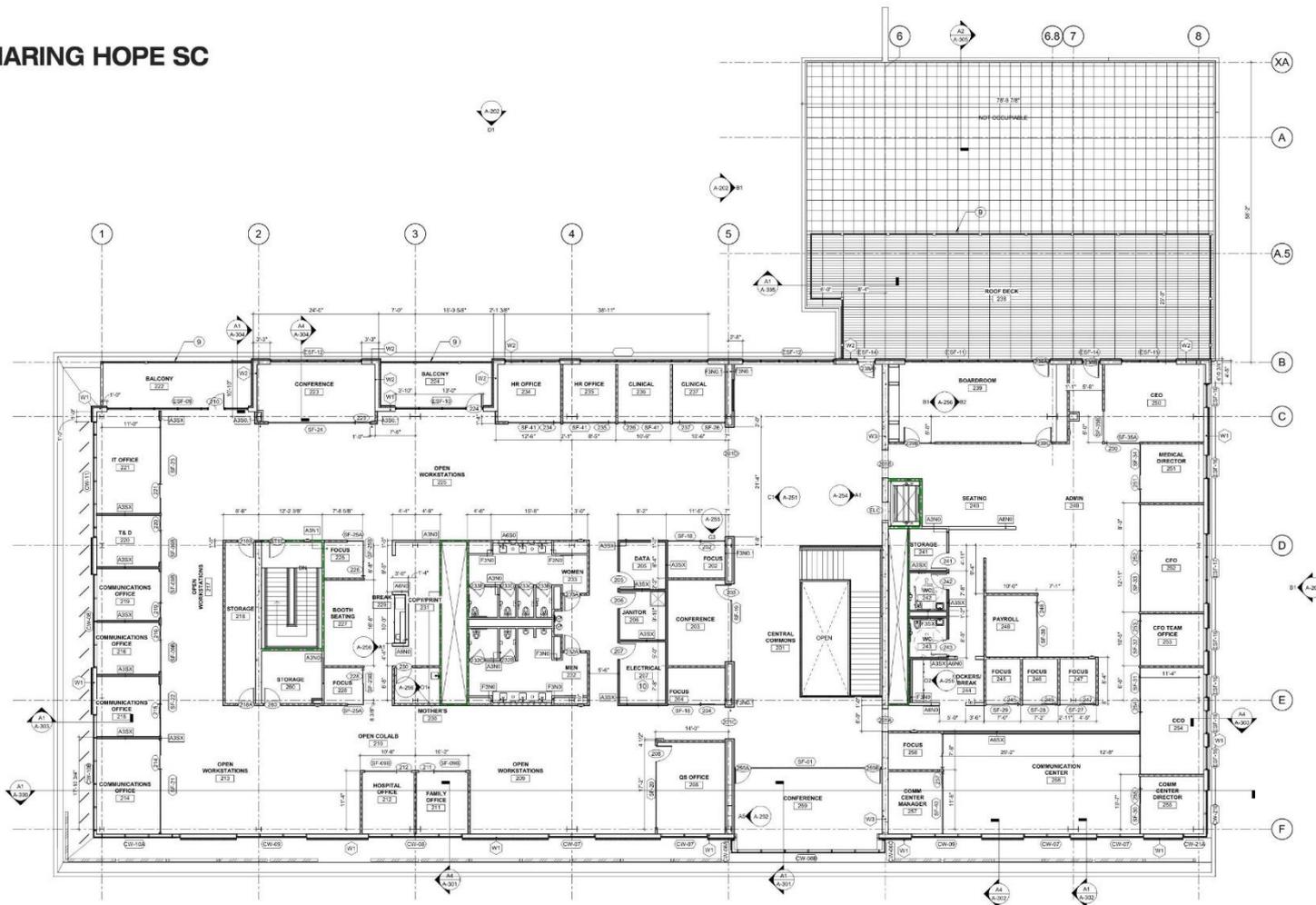
THICKEN SLAB TO 4" AT EXPANSION JOINTS
CONTRACT SUBGRADE TO 3000 PSI PROCTOR (SEE SPEC. 312.03)



A1 FIRST FLOOR PLAN
18'-0" x 112'-0"

GENERAL FLOOR PLAN NOTES	FLOOR PLAN SHEET NOTES	PARTITION NOTES	PARTITION LEGEND
<p>A. EXTERIOR DIMENSIONS AT MASONRY VENEER ARE TO FACE OF MASONRY.</p> <p>B. EXTERIOR DIMENSION AT CAST-IN PLACE CONCRETE ARE TO FACE OF CAST-IN PLACE CONCRETE.</p> <p>C. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD AND CENTERLINES OF COLUMNS, UNO.</p> <p>D. LOCATE COARSE REINFORCEMENT FROM SHEET REINFORCEMENT WALLS.</p> <p>E. FIRE AND SOUND RATED WALLS/PARTITIONS TO BE CONSTRUCTED FIRST TO STRUCTURE, FLOOR, DUCTWORK AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO STRUCTURE ABOVE.</p> <p>F. FIRE AND SOUND RATED WALLS/PARTITIONS TO BE CONSTRUCTED FIRST TO STRUCTURE, FLOOR, DUCTWORK THROUGH MAINFLOOR PARTITION FIRE RATED BARRIERS RECESSED FIRST INTO SHIP CABINETS.</p> <p>G. INSTALL BLOCKING IN PLACE FOR GASKETS, WALL MOUNTED EQUIPMENT, TRIM AND RELATED CONSTRUCTION AS INDICATED IN THE SPECIFICATIONS.</p> <p>H. SEE LIFE SAFETY PLANS FOR REQUIREMENTS FOR FIRE SEPARATION WALLS.</p> <p>I. SEE SHEET A-101 FOR PARTITION STOREFRONT TYPES.</p> <p>J. SEE SHEET A-111 FOR PARTITION STOREFRONT TYPES.</p> <p>K. SEE SHEET A-111 FOR CASING/SCHEDULES, FINISHES, DETAILS AND SCHEDULES.</p> <p>L. SEE SHEET A-101 FOR PARTITION ELEVATIONS, ACCESSORY ELEMENTS AND INCLUDING HEIGHTS.</p> <p>M. SEE SHEETS A-710, A-711 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>N. SEE SHEET A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>O. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>P. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>Q. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>R. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>S. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>T. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>U. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>V. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>W. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>X. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>Y. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p> <p>Z. SEE SHEETS A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.</p>	<p>1 SHEAR WALL, SEE STRUCTURE</p> <p>2 FINISH WALL, SEE STRUCTURE</p> <p>3 SHEAR WALL, SEE STRUCTURE, BY ARCHITECTURAL FINISH</p> <p>4 RATED CURB, SEE CIVIL</p> <p>5 CURB STOP, SEE CIVIL</p> <p>6 WATER FEATURE WALL, DELEGATED DESIGN</p> <p>7 4" HIGH BLACK ANODIZED ALUM. CAME DETECTION RAIL</p> <p>8 TRENCH DRAIN, SEE PLUMBING</p> <p>9 CABLE RAY</p> <p>10 ELECTRICAL SERVICE ACCESS & ELECTRICAL METER LOCATION</p>	<p>1 ALL NONDESIGNATED PARTITIONS SHALL BE TYPE A330 U.N.O.</p> <p>2 ALL FIRE AND SOUND RATED PARTITIONS SHALL BE TYPE A330 U.N.O. OR MORE PARTITIONS.</p> <p>3 FLOOR/ROOF E.T.E. SHALL BE SEALED WITH RESPECTIVE FIRE BARRIER PENETRATION SEALING SYSTEM BY SM OR U.L. APPROVED EQUAL TO THE MANUFACTURER'S RECOMMENDATION.</p> <p>4 FINISHES REFER TO FINISH SCHEDULE AND EXTERIOR ELEVATIONS FOR LOCATIONS.</p> <p>5 CONTRACTOR SHALL COORDINATE WITH MECHANICAL DUCTWORK PRIOR TO FABRICATION OF PARTITION WALLS.</p> <p>6 SHOULD CONDITIONS OCCUR WHERE A WALL IS UNABLE TO GO STRAIGHT UP TO STRUCTURE DUE TO PILING, DUCTWORK, ETC., THE PARTITION ABOVE IS TO BE PROBLEM RATED WALL. PROBLEM RATED WALLS SHALL BE MAINTAINED AS SUCH THROUGHOUT THE PROJECT.</p> <p>7 FLOOR/ROOF E.T.E. SHALL BE SEALED WITH RESPECTIVE FIRE BARRIER PENETRATION SEALING SYSTEM BY SM OR U.L. APPROVED EQUAL TO THE MANUFACTURER'S RECOMMENDATION.</p> <p>8 ATTENTION BLANKETS TO EXTEND JUST ABOVE THE FINISH CEILING, CAP OFF PARTITION FINISHES WITH A FINISHED CHANNEL, WHICH CEILING FINISH IS USED AS A RETURN AIR IN PLACE.</p> <p>9 CABLE RAY SHALL BE SHIPPED BY THE ARCHITECT.</p> <p>10 SEE LIFE SAFETY PLANS FOR THE LOCATIONS OF SMOKE BARRIERS, SMOKE PARTITIONS AND FIRE-RATED PARTITIONS.</p> <p>11 REFER TO UNDERWRITERS LABORATORIES, INC. FIRE RESISTANCE VOLUMES CURRENT EDITION FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF U.L. LISTED PRODUCTS.</p>	<p>1. ALL EXTERIOR WALLS TO BE W1 UNO.</p> <p>2. ALL INTERIOR METAL STUD PARTITIONS TO BE TYPE A330 UNO.</p> <p>3. NON-RATED PARTITION TO CEILING</p> <p>4. NON-RATED PARTITION TO CEILING W/ SOUND ATTENUATION</p> <p>5. NON-RATED PARTITION TO DECK</p> <p>6. 1 HR. RATED PARTITION TO DECK</p> <p>NOTE: SEE SHEET A-01 FOR CONSTRUCTION OF PARTITION TYPES.</p>





A1 SECOND FLOOR PLAN
1/8" = 1'-0"



GENERAL FLOOR PLAN NOTES

- A. EXTERIOR DIMENSIONS AT MASONRY VENEER ARE TO FACE OF MASONRY.
- B. EXTERIOR DIMENSION AT CAST-IN-PLACE CONCRETE ARE TO FACE OF CAST-IN-PLACE CONCRETE.
- C. INTERIOR DIMENSIONS INDICATED ARE TO FACE OF STUD AND CENTERLINES OF COLUMNS, LINO.
- D. LOCAL DOOR OPENING & FRAME HEIGHTS PERSONNEL OR WALL.
- E. FINE AND BLIND INTER-BUILDING WALLS TO BE CONSTRUCTED TO STRUCTURE, PIPING, DUCTWORK AND OTHER PENETRATIONS. ALL WORK IS TO BE BRACED TO STRUCTURE ABOVE.
- F. WHERE PARTITIONS OR OPENINGS ARE TO BE CONSTRUCTED, THE HIGHEST RATED PARTITION SHALL CONTAIN THROUGHOUT. MAINTAIN PARTITION FIRE RATING BEHIND RECESSED FIRE EXTINGUISHER CABINETS.
- G. METAL DOORS IN PARTITIONS FOR CASING, WALL MOUNTED EQUIPMENT, TRIM AND RELATED CONSTRUCTION AS INDICATED IN THE SPECIFICATIONS.
- H. SEE SHEET A-101 FOR DOOR TYPES.
- I. SEE SHEET A-101 FOR INTERIOR STOREFRONT TYPES.
- J. SEE SHEET A-101 FOR CORNER STOREFRONT OR PARTITION SCHEDULES.
- K. SEE SHEET A-101 FOR CASINGWORK SCHEDULES, DESIGNATIONS & DETAILS.
- L. SEE SHEET A-101 FOR INTERIOR SCHEDULES, ACCESSORY DESCRIPTIONS, MOUNTING HEIGHTS.
- M. SEE SHEET A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.
- N. SEE SHEET A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.
- O. SEE SHEET A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.
- P. SEE SHEET A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.
- Q. SEE STRUCTURAL DRAWINGS FOR SLAB DEPRESSIONS AND CUTOUTS.
- R. SEE SHEET A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.
- S. LOUVER TYPES TO BE MIN. 60% OPENNESS.

FLOOR PLAN SHEET NOTES

- 1 SHEAR WALL, SEE STRUCTURE
- 2 ENGRAVED BLUE POLY-CARBONATE WALL
- 3 SHEAR WALL, SEE STRUCTURE, W/ ARCHITECTURAL FINISH
- 4 RASSED CURB, SEE CIVIL
- 5 CURB STOP, SEE CIVIL
- 6 WATER FEATURE WALL, DELEGATED DESIGN
- 7 4" HIGH BLACK ANODIZED ALUM. CANE DETECTION RAIL
- 8 TRENCH DRAIN, SEE PLUMBING
- 9 CABLE RAIL
- 10 ELECTRICAL SERVICE ACCESS & ELECTRICAL METER LOCATION

PARTITION NOTES

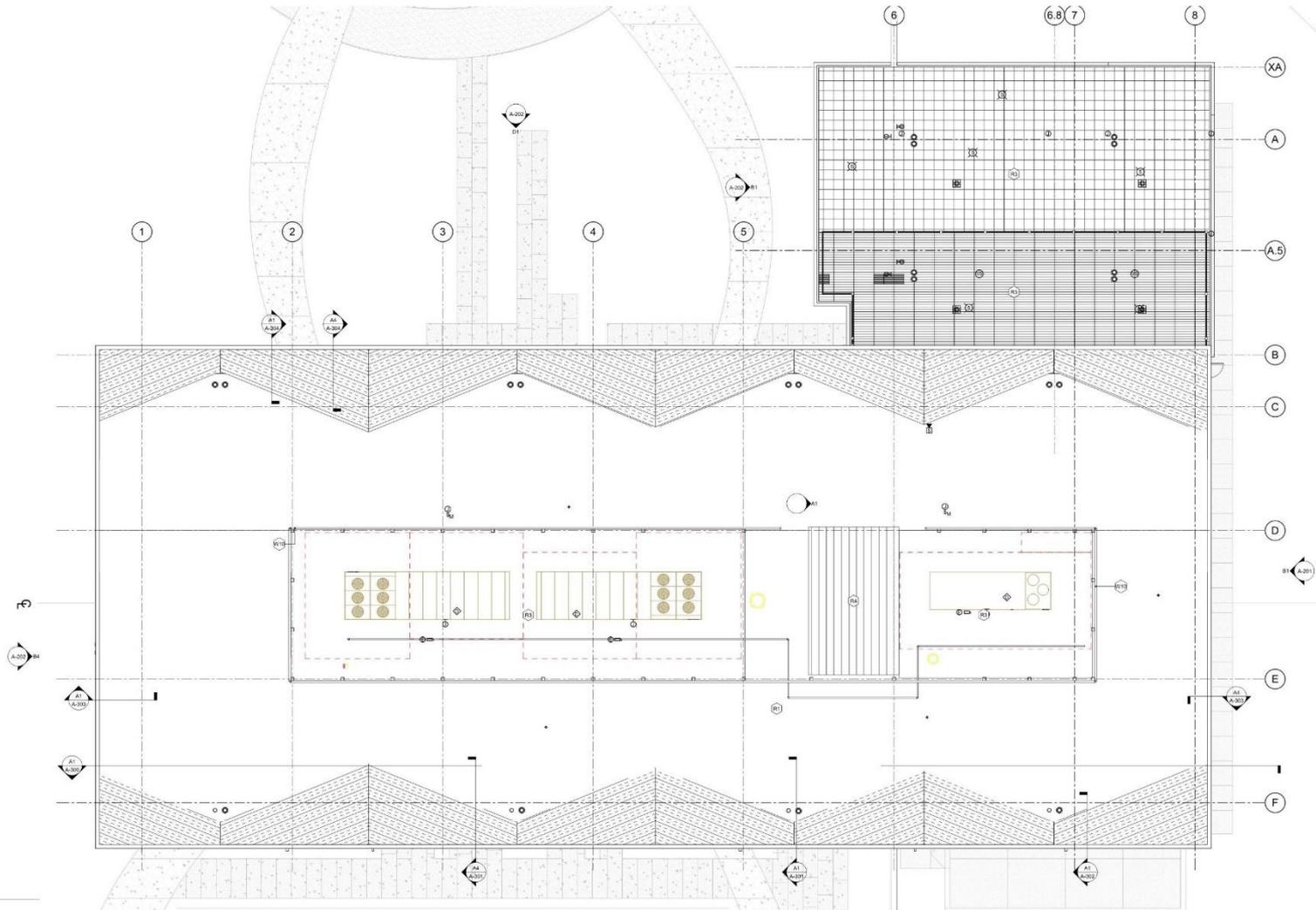
1. ALL NON-DESIGNATED PARTITIONS SHALL BE TYPE A350 U.N.O.
2. ALL FIRE AND CODE-REQUIRED PARTITIONS SHALL BE RATED ON-MORE PARTITIONS, FLOORS, ROOF, ETC. SHALL BE SEALED WITH A RESPECTED 1/2" ANGLE FIRE BARRIER PENETRATION SEALING SYSTEM BY AN O.U.L. APPROVED EQUAL TYP. BARRIER BOARD SHALL BE USED IN ALL LOCATIONS TO MEET THE FIRE RATING. REFER TO FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR LOCATIONS.
3. CONTRACTOR SHALL COORDINATE WITH MECHANICAL DUCTWORK PRIOR TO FABRICATION OF PARTITION WALLS.
4. SHIELD CONDITIONS OCCUR AT PARTITION WALLS SHALL BE SHOWN TO GO THROUGH AT ITS STRUCTURE DUE TO PIPING, DUCTWORK, ETC. THE PARTITION (SPRINKLER BURNER AND TRAPPING) MAY BE HORIZONTAL TO CROSS THE CEILING TO AVOID THE PRESS. RATED WALL. INTERESTY SHALL BE MAINTAINED.
5. WHERE STUDS EXTEND TO STRUCTURE, STUDS SHALL BE USED TO ATTACH ATTENTION BLANKETS EXTEND JUST ABOVE THE FINISH CEILING, GAP OFF PARTITION WALLS SHALL BE SEALED WITH A RESPECTED 1/2" ANGLE FIRE BARRIER PENETRATION SEALING SYSTEM BY AN O.U.L. APPROVED EQUAL TYP. BARRIER BOARD SHALL BE USED IN ALL LOCATIONS TO MEET THE FIRE RATING. REFER TO FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR LOCATIONS.
6. AS SET BY THE ARCHITECT.
7. DIMENSIONAL CONFLICTS BETWEEN PARTITION TYPES AND THE ARCHITECTURAL FLOOR PLAN SHALL BE RESOLVED TO THE ARCHITECT'S INTENT.
8. SEE SHEET A-101 FOR FINISH FLOORING, TRANSITIONS, PATTERNS AND WALL PROTECTION.
9. REFER TO UNDERWRITERS LABORATORIES, INC. FIRE RESISTANCE VOLUMES CURRENT EDITION FOR SPECIFIC CONSTRUCTION REQUIREMENTS OF U.L. LISTED AND MARK IN.

PARTITION LEGEND

1. ALL EXTERIOR WALLS TO BE 01 U.N.O.
 2. ALL INTERIOR METAL STUD PARTITIONS TO BE TYPE A350 U.N.O.
 3. NON-RATED PARTITION TO CEILING
 4. NON-RATED PARTITION TO CEILING WITH SOUND ATTENUATION
 5. NON-RATED PARTITION TO DECK
 6. 1-HR. RATED PARTITION TO DECK
- NOTE: SEE SHEET A002 FOR CONSTRUCTION OF PARTITION TYPES.



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B1 ROOF PLAN
1/8" = 1'-0"

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MATERIAL SCHEDULE	
Number	DESCRIPTION
CONC.1	CONCRETE
ALUM.1	ALUMINUM CURTAINWALL SYSTEM
MET.1	METAL PANEL
FAB.1	FABRIC PANEL
WOOD.1	HORIZONTAL SHADING DEVICE - WOOD
WOOD.2	HORIZONTAL SHADING DEVICE - METAL
FAB.2	VERTICAL SHADING DEVICE - FABRIC
ALUM.2	ALUMINUM SHADING SYSTEM
WOOD.3	T & G WOOD BEAMS

D1 SOUTH ELEVATION - PREVIOUS
VP = 1'-0"



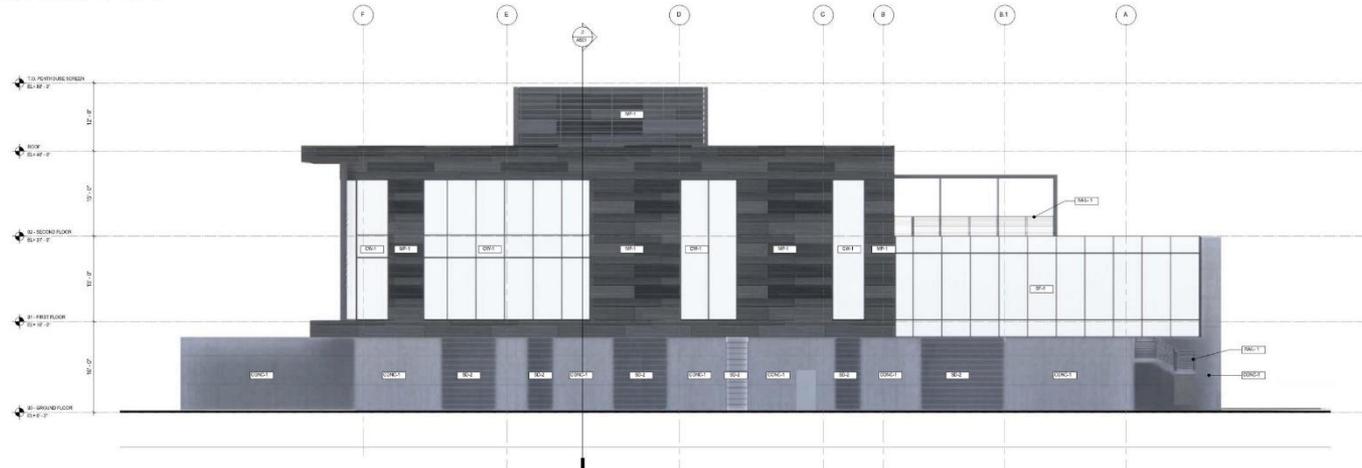
D1 SOUTH ELEVATION
VP = 1'-0"

EXTERIOR FINISH SCHEDULE

SYMBOL - METALS	BASE MATERIAL	FINISH COLOR	NOTES	SYMBOL - GLASS	BASE MATERIAL	FINISH COLOR	NOTES
1-1000	ALUMINUM	ANODIZED	1-1000	GLASS	GLASS	CLEAR	1-1000
1-1001	ALUMINUM	PAINTED	1-1001	GLASS	GLASS	REFLECTIVE	1-1001
1-1002	ALUMINUM	PAINTED	1-1002	GLASS	GLASS	LOW E	1-1002
1-1003	ALUMINUM	PAINTED	1-1003	GLASS	GLASS	LOW E	1-1003
1-1004	ALUMINUM	PAINTED	1-1004	GLASS	GLASS	LOW E	1-1004
1-1005	ALUMINUM	PAINTED	1-1005	GLASS	GLASS	LOW E	1-1005
1-1006	ALUMINUM	PAINTED	1-1006	GLASS	GLASS	LOW E	1-1006
1-1007	ALUMINUM	PAINTED	1-1007	GLASS	GLASS	LOW E	1-1007
1-1008	ALUMINUM	PAINTED	1-1008	GLASS	GLASS	LOW E	1-1008
1-1009	ALUMINUM	PAINTED	1-1009	GLASS	GLASS	LOW E	1-1009
1-1010	ALUMINUM	PAINTED	1-1010	GLASS	GLASS	LOW E	1-1010
1-1011	ALUMINUM	PAINTED	1-1011	GLASS	GLASS	LOW E	1-1011
1-1012	ALUMINUM	PAINTED	1-1012	GLASS	GLASS	LOW E	1-1012
1-1013	ALUMINUM	PAINTED	1-1013	GLASS	GLASS	LOW E	1-1013
1-1014	ALUMINUM	PAINTED	1-1014	GLASS	GLASS	LOW E	1-1014
1-1015	ALUMINUM	PAINTED	1-1015	GLASS	GLASS	LOW E	1-1015
1-1016	ALUMINUM	PAINTED	1-1016	GLASS	GLASS	LOW E	1-1016
1-1017	ALUMINUM	PAINTED	1-1017	GLASS	GLASS	LOW E	1-1017
1-1018	ALUMINUM	PAINTED	1-1018	GLASS	GLASS	LOW E	1-1018
1-1019	ALUMINUM	PAINTED	1-1019	GLASS	GLASS	LOW E	1-1019
1-1020	ALUMINUM	PAINTED	1-1020	GLASS	GLASS	LOW E	1-1020
1-1021	ALUMINUM	PAINTED	1-1021	GLASS	GLASS	LOW E	1-1021
1-1022	ALUMINUM	PAINTED	1-1022	GLASS	GLASS	LOW E	1-1022
1-1023	ALUMINUM	PAINTED	1-1023	GLASS	GLASS	LOW E	1-1023
1-1024	ALUMINUM	PAINTED	1-1024	GLASS	GLASS	LOW E	1-1024
1-1025	ALUMINUM	PAINTED	1-1025	GLASS	GLASS	LOW E	1-1025
1-1026	ALUMINUM	PAINTED	1-1026	GLASS	GLASS	LOW E	1-1026
1-1027	ALUMINUM	PAINTED	1-1027	GLASS	GLASS	LOW E	1-1027
1-1028	ALUMINUM	PAINTED	1-1028	GLASS	GLASS	LOW E	1-1028
1-1029	ALUMINUM	PAINTED	1-1029	GLASS	GLASS	LOW E	1-1029
1-1030	ALUMINUM	PAINTED	1-1030	GLASS	GLASS	LOW E	1-1030
1-1031	ALUMINUM	PAINTED	1-1031	GLASS	GLASS	LOW E	1-1031
1-1032	ALUMINUM	PAINTED	1-1032	GLASS	GLASS	LOW E	1-1032
1-1033	ALUMINUM	PAINTED	1-1033	GLASS	GLASS	LOW E	1-1033
1-1034	ALUMINUM	PAINTED	1-1034	GLASS	GLASS	LOW E	1-1034
1-1035	ALUMINUM	PAINTED	1-1035	GLASS	GLASS	LOW E	1-1035
1-1036	ALUMINUM	PAINTED	1-1036	GLASS	GLASS	LOW E	1-1036
1-1037	ALUMINUM	PAINTED	1-1037	GLASS	GLASS	LOW E	1-1037
1-1038	ALUMINUM	PAINTED	1-1038	GLASS	GLASS	LOW E	1-1038
1-1039	ALUMINUM	PAINTED	1-1039	GLASS	GLASS	LOW E	1-1039
1-1040	ALUMINUM	PAINTED	1-1040	GLASS	GLASS	LOW E	1-1040
1-1041	ALUMINUM	PAINTED	1-1041	GLASS	GLASS	LOW E	1-1041
1-1042	ALUMINUM	PAINTED	1-1042	GLASS	GLASS	LOW E	1-1042
1-1043	ALUMINUM	PAINTED	1-1043	GLASS	GLASS	LOW E	1-1043
1-1044	ALUMINUM	PAINTED	1-1044	GLASS	GLASS	LOW E	1-1044
1-1045	ALUMINUM	PAINTED	1-1045	GLASS	GLASS	LOW E	1-1045
1-1046	ALUMINUM	PAINTED	1-1046	GLASS	GLASS	LOW E	1-1046
1-1047	ALUMINUM	PAINTED	1-1047	GLASS	GLASS	LOW E	1-1047
1-1048	ALUMINUM	PAINTED	1-1048	GLASS	GLASS	LOW E	1-1048
1-1049	ALUMINUM	PAINTED	1-1049	GLASS	GLASS	LOW E	1-1049
1-1050	ALUMINUM	PAINTED	1-1050	GLASS	GLASS	LOW E	1-1050



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B1 EAST ELEVATION - PREVIOUS
18' x 73'



B1 EAST ELEVATION
18' x 73'

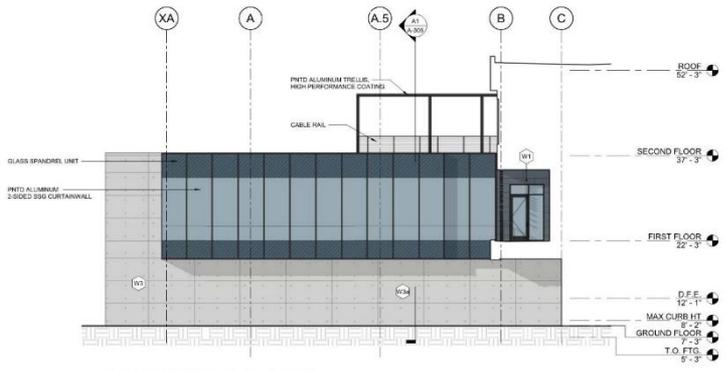
EXTERIOR FINISH SCHEDULE

SYMBOL & MATERIAL	BASE MATERIAL	FINISH COLOR	NOTES	SYMBOL & MATERIAL	BASE MATERIAL	FINISH COLOR	NOTES
TABLET MOUNTS	BALANCED STEEL	POWDER COAT - JET BLACK	STANDARD AT ROOF TERRACE - BALCONIES	ALUM CURTAINWALL	ALUMINUM	PVD FRESH BLACK	COLOR TO MATCH ANODIZED BLACK
WOODEN KNEE WALK RUNNERS	BALANCED STEEL	HIGH PERFORMANCE COATING (KYNAR 500)	MINOR UP-TURN AT CORNERS (MIN. 1/4" RADIUS)	ALUM STOREFRONT	ALUMINUM	PVD FRESH BLACK	COLOR TO MATCH ANODIZED BLACK
SPARGE COVERS	EXTRUDED ALUMINUM	BLACK (B1)	3/8" SLIP RESISTANCE (1/4" THICK) @ 45° ANGLE	GLASS CURTAINWALL DOOR	ALUMINUM	PVD FRESH BLACK	COLOR TO MATCH ANODIZED BLACK
ROOF TERRACE TRELLIS	EXTRUDED ALUMINUM	HIGH PERFORMANCE COATING (KYNAR 500)	3/8" SLIP RESISTANCE (1/4" THICK) @ 45° ANGLE	HOLLOW METAL DOOR	STEEL	COLOR TO MATCH ROOF WALL FINISH	
HORIZONTAL BRACKETS	EXTRUDED ALUMINUM	HIGH PERFORMANCE COATING (KYNAR 500)	DELICATED DESIGN, 90% INCREASE IN MECHANICAL STRENGTH	GLASS CURTAINWALL DOOR	ANODIZED STEEL	POWDER COAT - JET BLACK	VENUS/NOVAL
SYMBOL 7 - THERMAL & MOISTURE PROTECTION							
W1	CONCRETE PANEL	HYDRO-PERMEABLE SLAB	8" O.C. OVER DECK				
W2	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W3	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W4	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W5	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W6	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W7	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W8	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W9	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W10	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W11	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W12	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W13	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W14	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W15	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W16	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W17	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W18	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W19	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
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W24	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W25	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W26	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W27	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W28	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W29	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
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W31	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W32	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W33	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W34	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W35	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W36	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W37	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W38	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W39	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W40	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W41	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W42	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W43	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W44	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W45	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W46	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W47	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W48	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W49	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				
W50	CONCRETE	CONCRETE	1" MIN. THICK (1" x 12" x 24" (AS SPECIFIED))				

WE ARE SHARING HOPE SC



B1 WEST ELEVATION - PREVIOUS
18' = 1'-0"



B1 WEST ELEVATION - PREFUNCTION
18' = 1'-0"



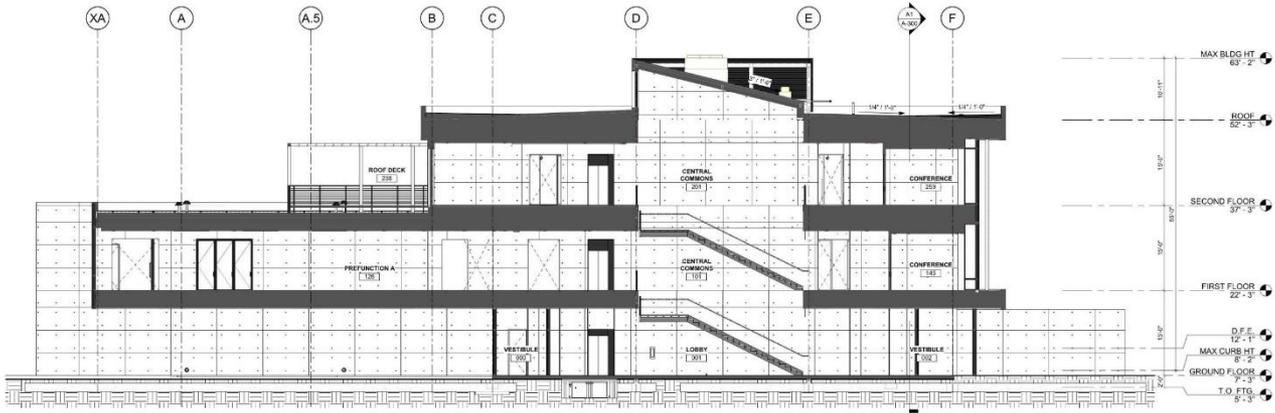
B4 WEST ELEVATION
18' = 1'-0"

EXTERIOR FINISH SCHEDULE

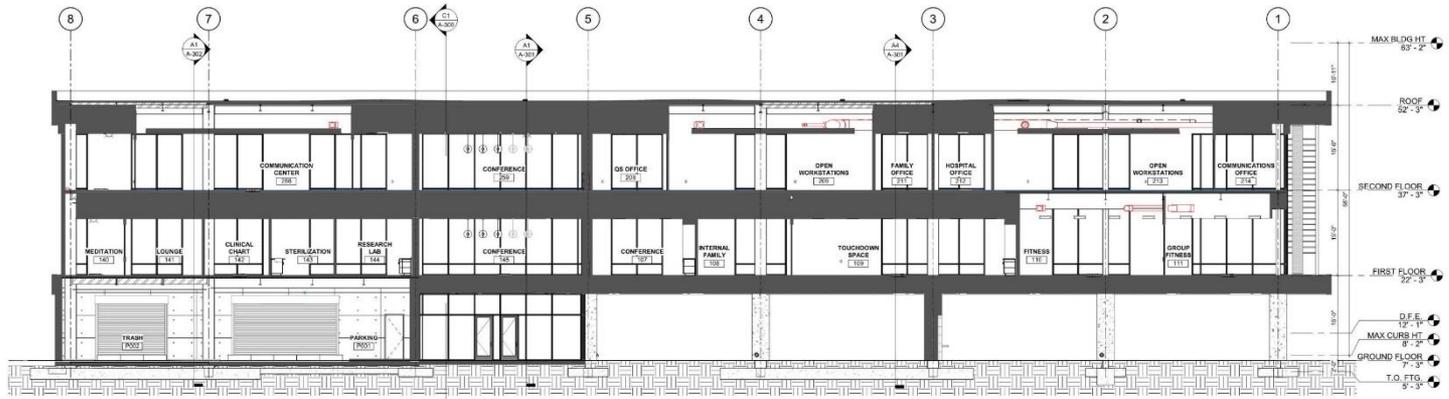
SYSTEMS - METALS	BASE MATERIAL	FINISH/COAT	NOTES	SYSTEMS - SYSTEMS	BASE MATERIAL	FINISH/COAT	NOTES
GLASS & HANDRAILS	STAINLESS STEEL	POWDER COAT - JET BLACK	STAINLESS AT ROOF TERRACE & BALCONIES	GLASS CURTAINWALL	ALUMINUM	FINISH PRESH BLACK	COLOR TO MATCH ANODIZED BLACK
WOODEN WOOD KICKERS	STAINLESS STEEL	HIGH PERFORMANCE COATING (KORONA/CLARIS)	WOODEN WOOD KICKERS	GLASS CURTAINWALL DOOR	ALUMINUM	FINISH PRESH BLACK	COLOR TO MATCH ANODIZED BLACK
SHADE COVERS	EXTRUDED ALUMINUM	BLACK (R1)	3.5" SLAT WOOD COVERS (ALUMINUM/BLACK) (R1)	WALL OR METAL DOOR	STEEL	COLOR TO MATCH WOOD WALL FINISH	
ROOF TERRACE TRELLIS	EXTRUDED ALUMINUM	HIGH PERFORMANCE COATING (KORONA/CLARIS)	DELTA 1000 SYSTEM (ALUMINUM/BLACK) (R1)	CONCRETE COLUMN DOOR	ENHANCED STEEL	POWDER COAT - JET BLACK	VENETIAN
HORIZONTAL BALCONIES	EXTRUDED ALUMINUM	HIGH PERFORMANCE COATING (KORONA/CLARIS)	DELTA 1000 SYSTEM (ALUMINUM/BLACK) (R1)				
SYSTEMS - THERMAL & MOISTURE PROTECTION							
WT	CONCRETE PANEL	HYDRO-PROMPTED SLAB	R-10 CONSTRUCTION (SEE DETAIL) (1" x 1" x 1/2" (3) GYPSUM BOARD)				
WT	CONCRETE	CONCRETE	CONCRETE (SEE DETAIL) (1" x 1" x 1/2" (3) GYPSUM BOARD)				
WT	CONCRETE	CONCRETE	CONCRETE (SEE DETAIL) (1" x 1" x 1/2" (3) GYPSUM BOARD)				
WT	CONCRETE	CONCRETE	CONCRETE (SEE DETAIL) (1" x 1" x 1/2" (3) GYPSUM BOARD)				
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WT	CONCRETE	CONCRETE	CONCRETE (SEE DETAIL) (1" x 1" x 1/2" (3) GYPSUM BOARD)				
WT	CONCRETE	CONCRETE	CONCRETE (SEE DETAIL) (1" x 1" x 1/2" (3) GYPSUM BOARD)				



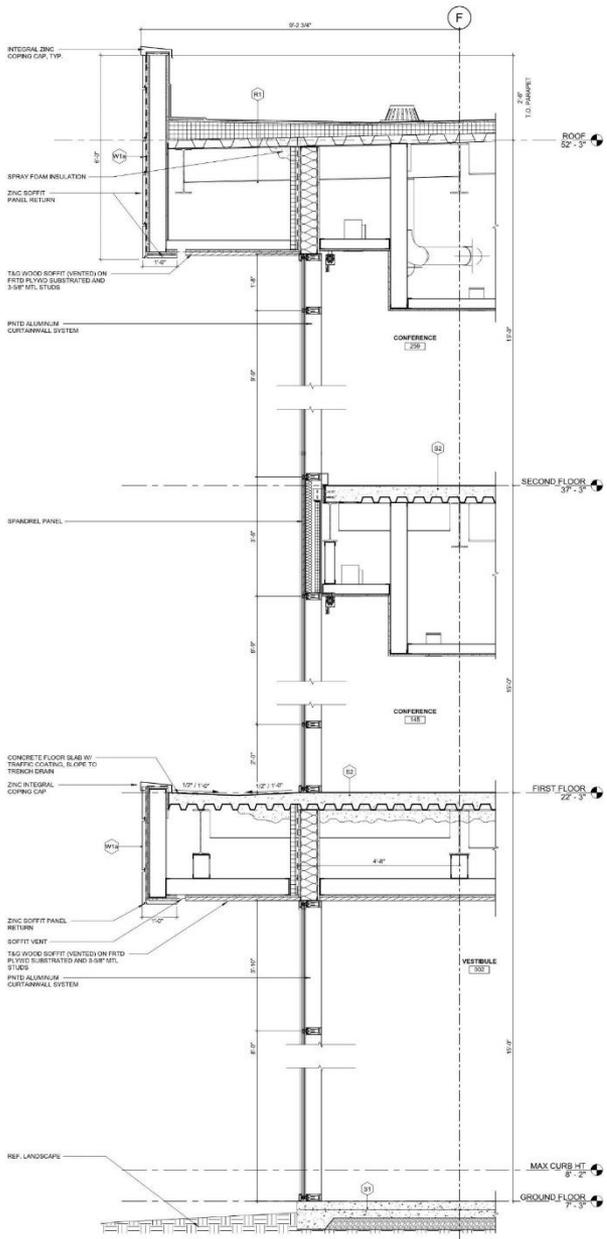
WE ARE SHARING HOPE SC



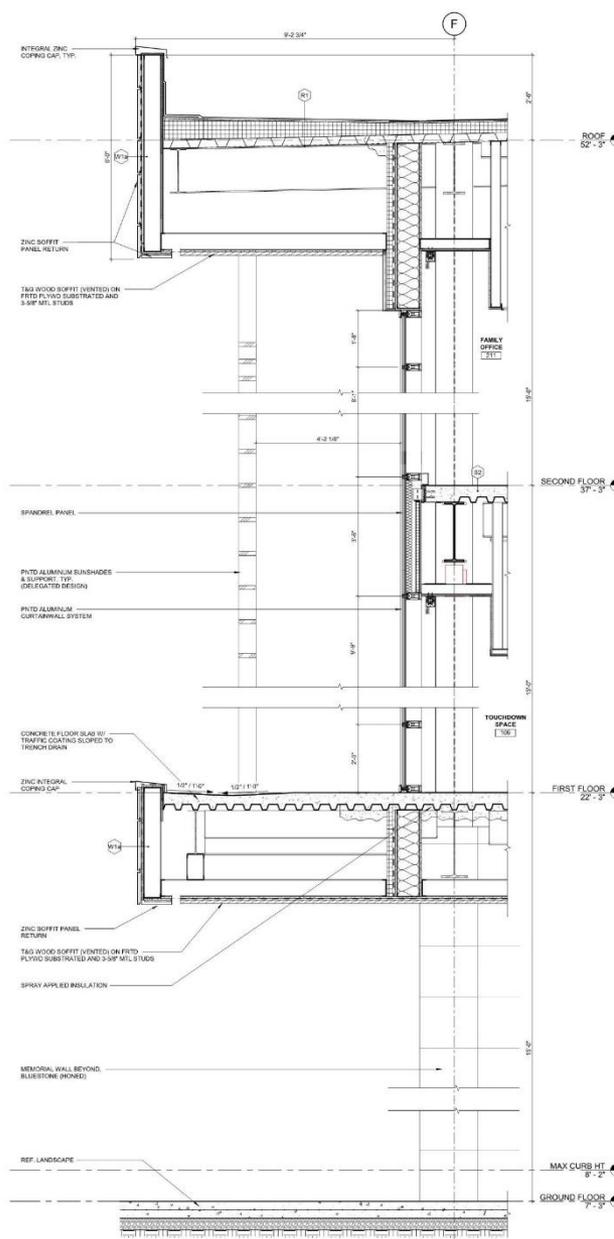
C1 CROSS SECTION @ LOBBY
1/8" = 1'-0"



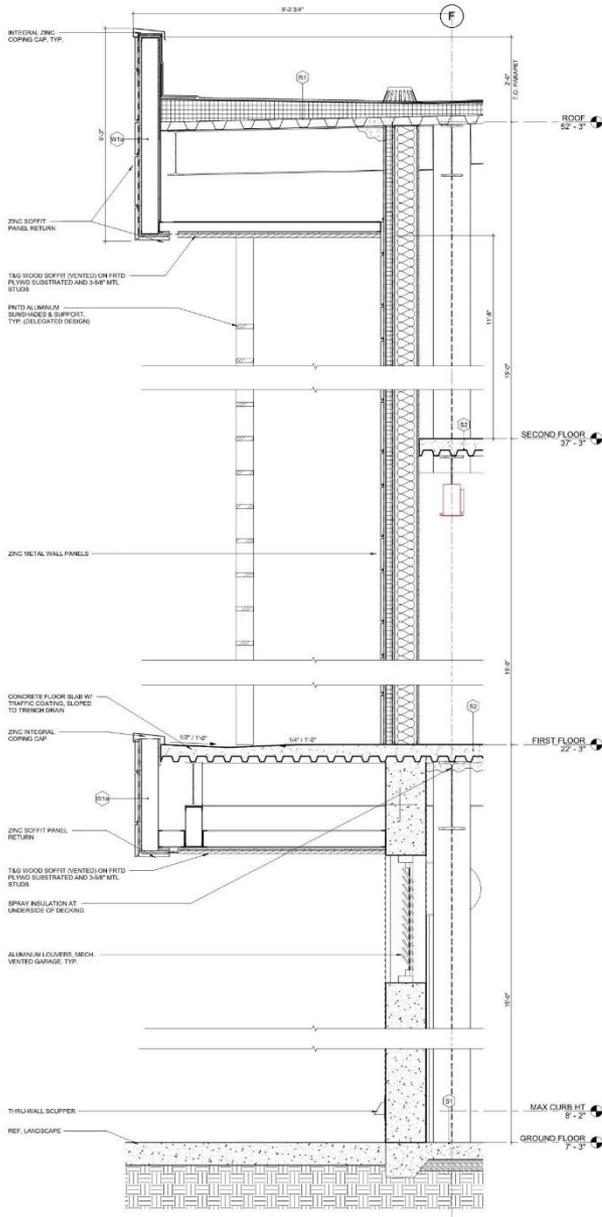
A1 LONGITUDINAL SECTION
1/8" = 1'-0"



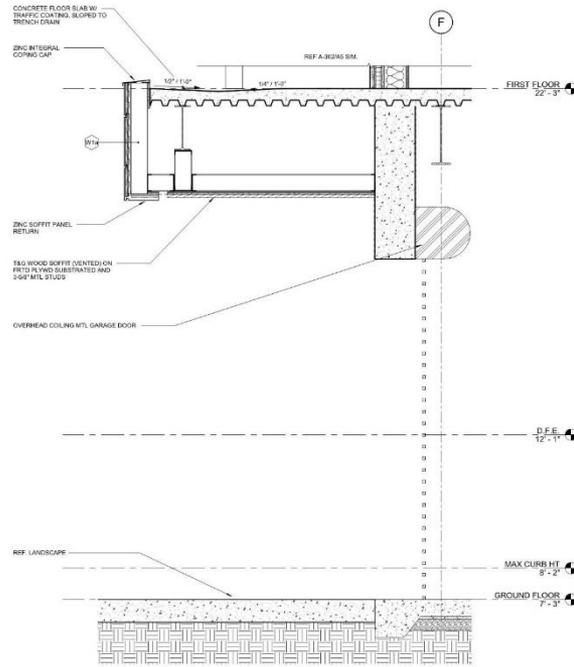
A1 WALL SECTION @ SOUTH ENTRY
36'-1 1/2"



A4 WALL SECTION @ SOUTH, TYP.
36'-1 1/2"



A1 WALL SECTION @ GARAGE SOUTH
3/4" = 1'-0"



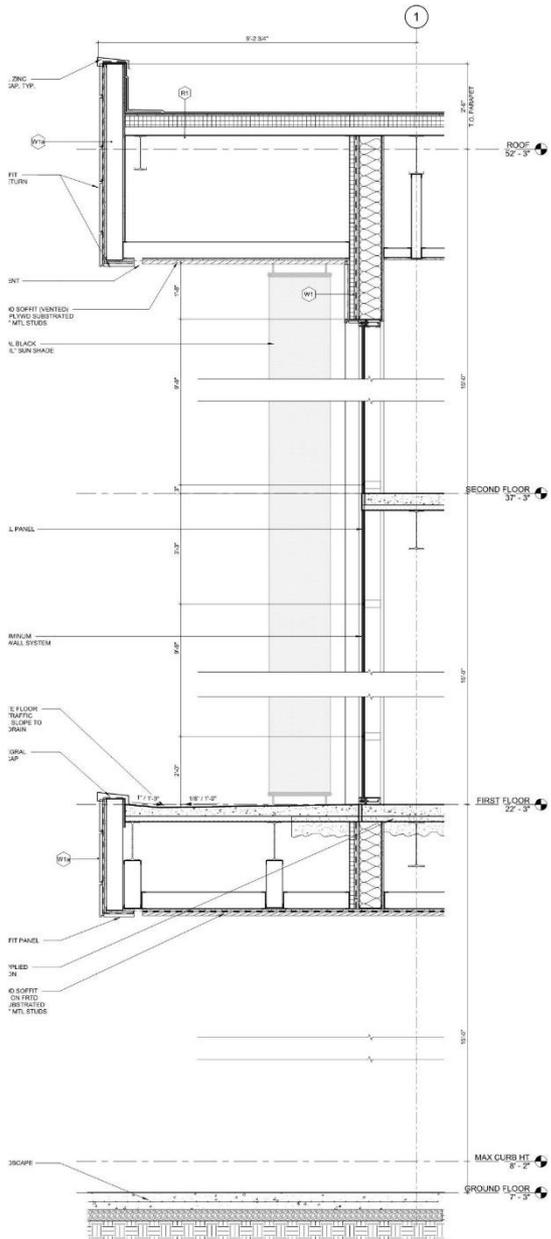
A4 WALL SECTION @ GARAGE DOOR
3/4" = 1'-0"

EXTERIOR WALL SECTIONS, SOUTH

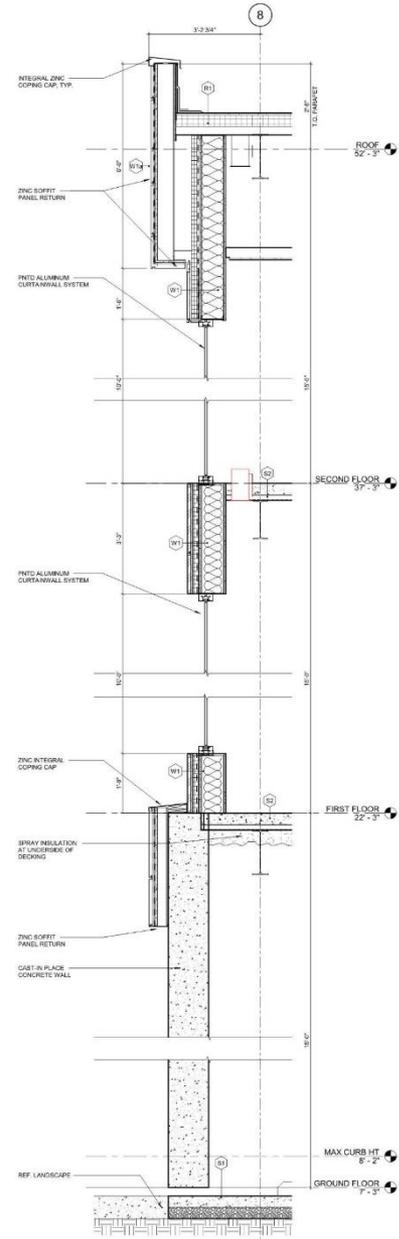
A-302

PRELIMINARY DRB
JANUARY 8, 2020

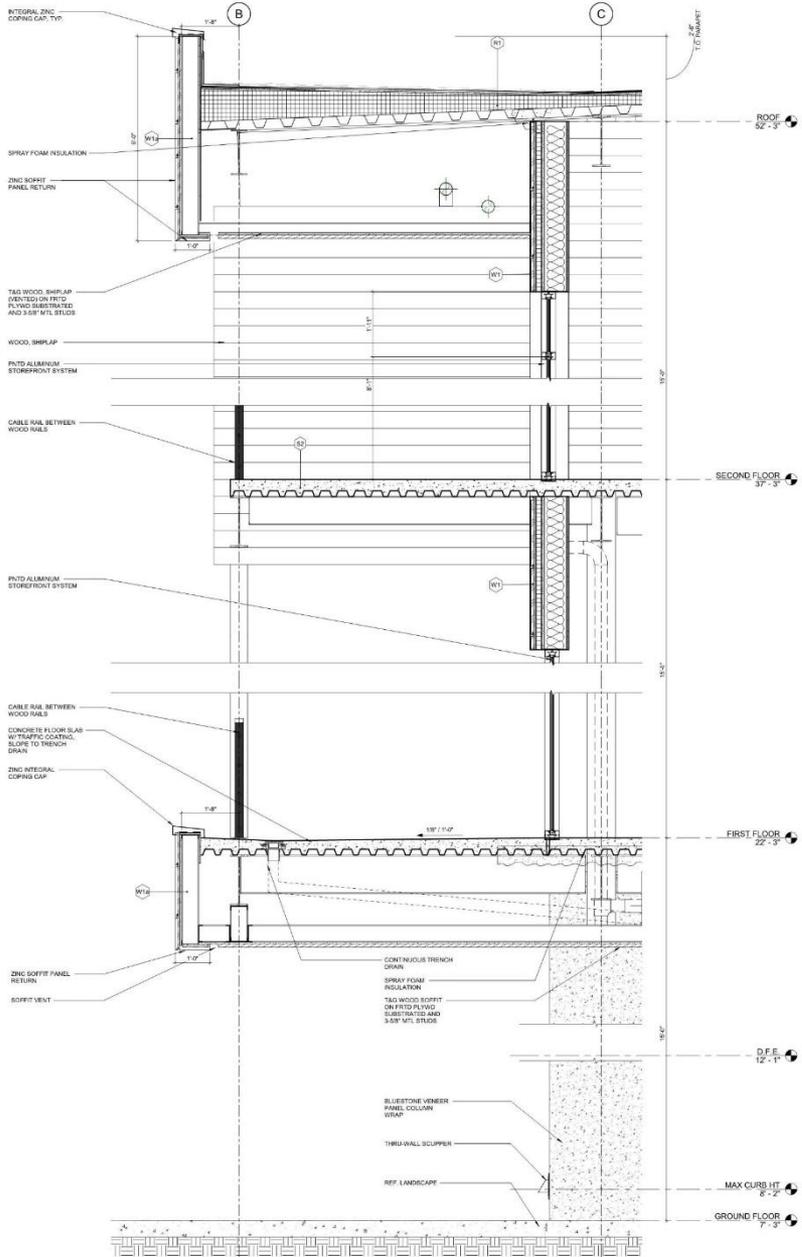
SHEET
40



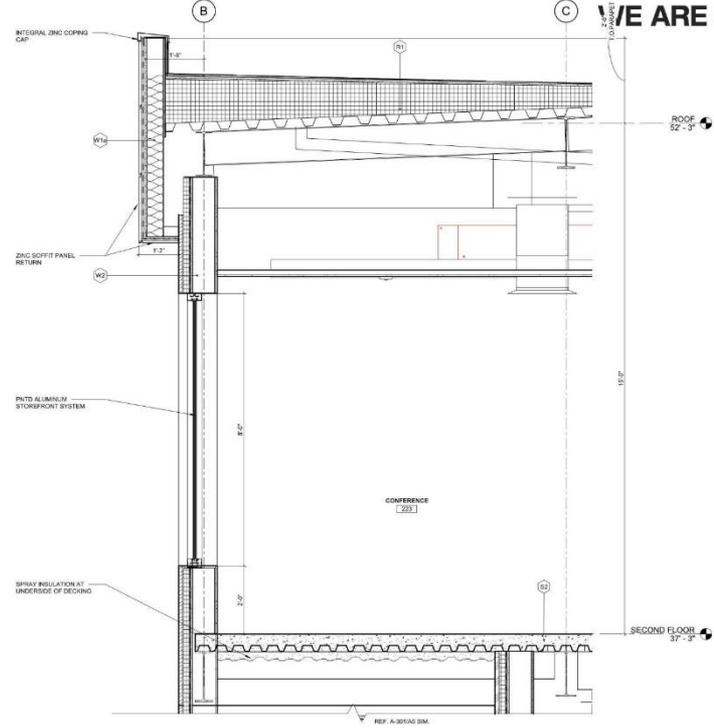
A1 WALL SECTION @ FABRICCOIL, WEST
3/4" = 1'-0"



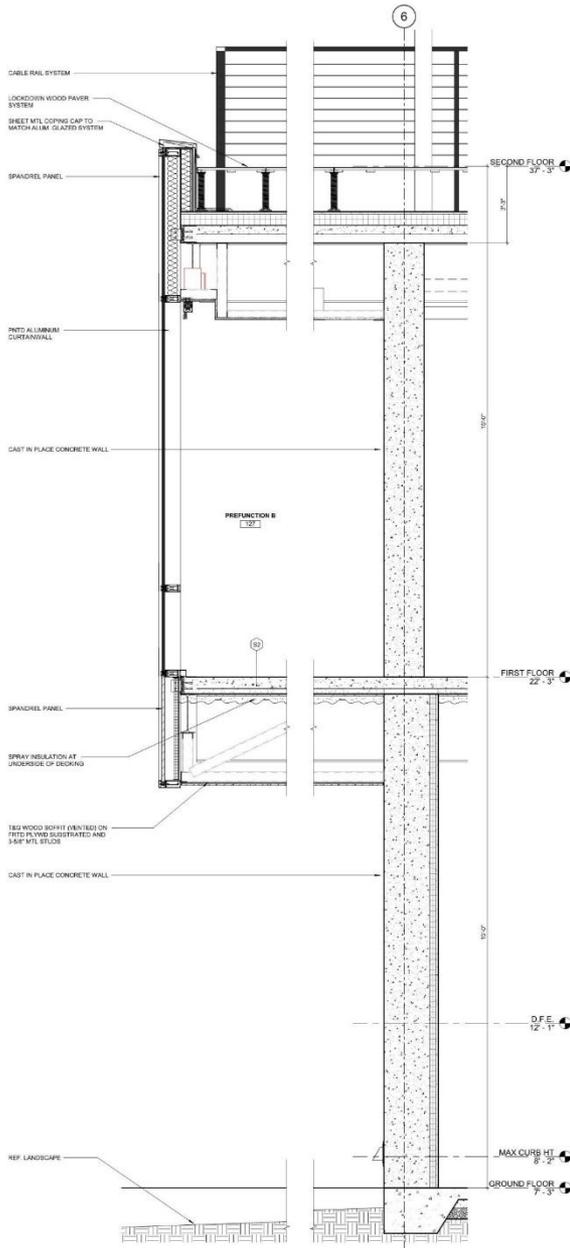
A4 WALL SECTION @ EAST, TYP.
3/4" = 1'-0"



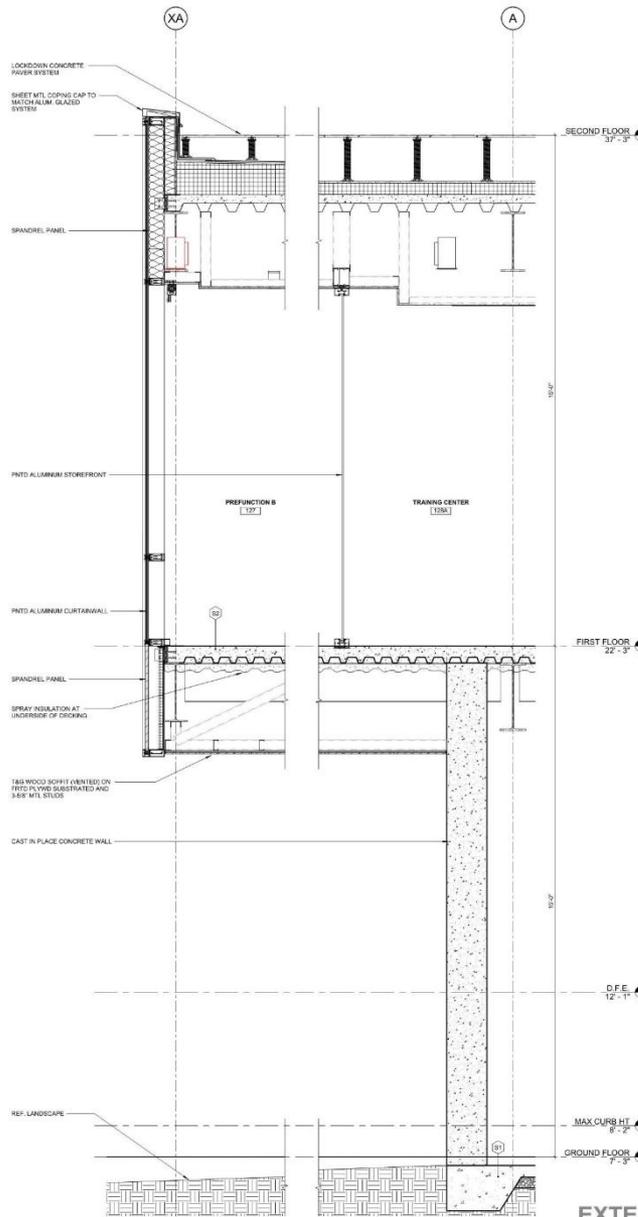
A1 WALL SECTION @ NORTH BALCONY
36" x 1'-0"



A4 WALL SECTION @ NORTH BALCONY/CONFERENCE
34" x 1'-0"



A1 WALL SECTION @ PREFUNCTION, WEST
3/8" = 1'-0"



A2 WALL SECTION @ PREFUNCTION, NORTH
3/8" = 1'-0"

EXTERIOR WALL SECTIONS, PREFUNCTION

PRELIMINARY DRB
JANUARY 8, 2020

A-305

SHEET
43

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B1 SOUTHWEST AERIAL RENDERING



B2 NORTHWEST AERIAL RENDERING



A1 SOUTHWEST RENDERING



A2 NORTH RENDERING

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B1 NIGHT ENTRANCE RENDERING



B2 MEMORIAL GARDEN - SOUTH



A1 MEMORIAL WALL RENDERING



A2 MEMORIAL GARDEN OUTDOOR CLASSROOM

WE ARE SHARING HOPE SC



B1 NIGHT POND RENDERING



B2 MEMORIAL GARDEN - NORTH



A1 FIRST FLOOR NORTH BALCONY VIEW

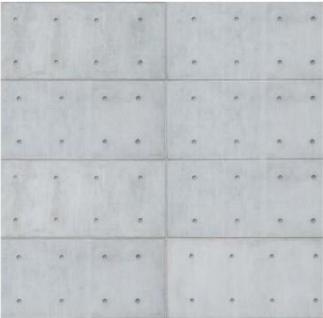


A2 MEMORIAL WALL - NORTH

WE ARE SHARING HOPE SC



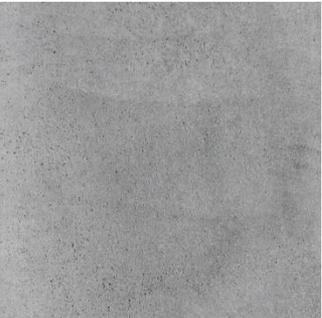
PIGMENTO BLUE ZINC



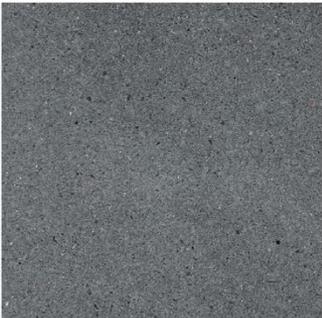
CAST-IN-PLACE CONCRETE



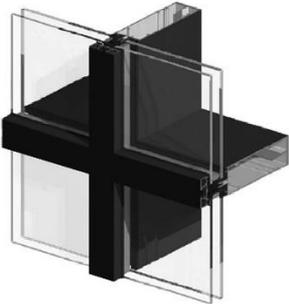
CYPRESS TONGUE & GROOVE SIDING



BLUESTONE (HONED) MEMORIAL WALLS



PRECAST CONCRETE COLUMN ENCLOSURE



BLACK KYNAR PNTD ALUM CURTAINWALL

Agenda Item #5

GLENN MCCONNELL PARKWAY @ WILLIAM E MURRAY BLVD.

TMS # 306-00-00-934

Request the conceptual approval for the construction
of a new 3 story office building.

HIGH REAL ESTATE GROUP
FOUNDERS YARD



Sheet #	Sheet Name
001	COVER AND SHEET INDEX
002	LANDSCAPE SITE PLAN
003	DBA REVIEW COMMENTS
004	INDO 1 PRELIMINARY
005	INDO 2 BALANCED ELEVATIONS
006	INDO 3 BALANCED ELEVATIONS
007	INDO 4 PRELIMINARY
008	INDO 5 ELEVATIONS
009	INDO 6 PRELIMINARY
010	INDO 7 ELEVATIONS
011	BUILDING PRODUCT EXAMPLES
012	INDO 8 PRELIMINARY
013	INDO 9 ELEVATIONS
014	INDO 10 ELEVATIONS

Sheet #	Sheet Name
015	BUILD 1 PRELIMINARY
016	BUILD 2 ELEVATIONS
017	BUILD 3 PRELIMINARY
018	BUILD 4 ELEVATIONS
019	PRELIMINARY PROCESS
020	LANDSCAPE SITE PLAN
021	CONCEPT PLAN - BERRY PLAZA
022	CONCEPT PLAN - COURTYARD 1
023	CONCEPT PLAN - COURTYARD 2
024	CONCEPT PLAN - COURTYARD 3
025	PLANNING CHARACTER
026	PLANT PALETTE
027	PARKING & AUTO COMMENTS

Sheet #	Sheet Name
C-104	UTILITY PLAN 1 - SHEET INDEX
C-105	UTILITY PLAN 2 - RICHMOND
C-106	SHADING CONDITIONS - PICTURES
C-107	SHADING CONDITIONS - PICTURES
C-108	SOIL PLAN

Sheet #	Sheet Name	DRB
AR-104	BUILD 1 - 1ST FLOOR - KEY PLAN	X
AR-105	COLORADO ELEVATIONS BLDG 1	X
AR-106	COLORADO ELEVATIONS BLDG 2	X
AR-107	BUILD 1 - ELEVATIONS	X
AR-108	BUILD 1 - ELEVATIONS	X
AR-109	BUILD 1 - 1ST FLOOR - KEY PLAN	X
AR-110	BUILD 1 - 2ND FLOOR - KEY PLAN	X
AR-111	BUILD 1 - 3RD FLOOR - KEY PLAN	X
AR-112	BUILD 1 - 4TH FLOOR - KEY PLAN	X
AR-113	BUILD 1 - ROOF - KEY PLAN	X
AR-114	COLORADO ELEVATIONS BLDG 1 & 2	X
AR-115	BUILD 2 AND 3 - ELEVATIONS	X
AR-116	BUILD 2 AND 3 - ELEVATIONS	X
AR-117	BUILD 2 AND 3 - ELEVATIONS	X

Sheet #	Sheet Name	DRB
AR-118	BUILD 2 & 3 - 1ST FLOOR - KEY PLAN	X
AR-119	BUILD 2 & 3 - 2ND FLOOR - KEY PLAN	X
AR-120	BUILD 2 & 3 - 3RD FLOOR - KEY PLAN	X
AR-121	BUILD 2 & 3 - 4TH FLOOR - KEY PLAN	X
AR-122	BUILD 2 & 3 - ROOF - KEY PLAN	X
AR-123	COLORADO ELEVATIONS BLDG 2	X
AR-124	BUILD 4 - ELEVATIONS	X
AR-125	BUILD 4 - ELEVATIONS	X
AR-126	BUILD 4 - 1ST FLOOR - KEY PLAN	X
AR-127	BUILD 4 - 2ND FLOOR - KEY PLAN	X
AR-128	BUILD 4 - 3RD FLOOR - KEY PLAN	X
AR-129	BUILD 4 - 4TH FLOOR - KEY PLAN	X
AR-130	BUILD 4 - ROOF - KEY PLAN	X
AR-131	WALL SECTION	X

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CHARLESTON, SC



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DRB CONCEPTUAL

PROJECT NUMBER: 1808
ISSUE DATE: NOVEMBER 18, 2019
ISSUED FOR: DRB CONCEPTUAL



REVISIONS

COVER AND SHEET
INDEX

0.01

NOTE TO STAFF AND BOARD

CONCEPTUAL SUBMITTAL IS ORGANIZED FOR THE ATTACHED SHEETS #1 - #27 TO PROVIDE AN OVERVIEW OF THE CHANGES MADE TO THE EXTERIOR OF THE BUILDING AND SITE IN RESPONSE TO THE BOARD'S COMMENTS FROM THE LAST DESIGN REVIEW. THE FOLLOWING SHEETS INCLUDE BUILDING PLANS, ELEVATIONS, AND WALL SECTIONS TO PROVIDE ADDITIONAL DETAILS DURING REVIEW.

STAFF COMMENTS ON NOVEMBER 18TH, 2019:

1. **THE PROJECT WAS DEFERRED BY THE APPLICANT AT THE LAST REVIEW. SOME OF THE STAFF AND BOARD COMMENTS MET SINCE THE LAST REVIEW: SPECIALTY PAVERS WERE ADDED AT THE ENTRY AND ROUNDABOUTS, ROOF PLANS WERE PROVIDED, AND THE BUILDING MATERIALS PALLET HAS BEEN SIMPLIFIED FOR A CLEANER, LESS BUSY LOOK. STAFF LIKES THIS DESIGN DIRECTION.**
2. **STAFF AND BOARD COMMENTS THAT DON'T APPEAR TO HAVE BEEN MET: TRIANGLE PLANTERS AT THE PARKING, AROUND THE PERIMETER OF THE BUILDINGS WERE NOT ADDED (FOR PALMETTOS) AS SUGGESTED.**

RESPONSE : APPLICANT AGREES THAT THE ADDITION OF PALMS WILL ENHANCE THE PEDESTRIAN EXPERIENCE AND OVERALL FEEL OF THE PROJECT. THE INITIAL PRECEDENT STUDY, OYSTER PARK, HAS A CONDITION THAT INCLUDES ONLY HARDSCAPE BETWEEN THE PARKING AND BUILDING FRONTAGE, LEAVING NO ROOM FOR FOUNDATION PLANTING OR SHADE TREES, AND DEEP PARKING SPACES TO ACCOMMODATE THE TRIANGULAR PLANTERS. OUR PROPOSED PLAN INCLUDES A SIDEWALK AREA AND ADDITIONAL LANDSCAPE TO SOFTEN THE TRANSITION FROM PARKING TO BUILDING. WE ARE PROPOSING TO ADD PALMS IN THIS LANDSCAPE AREA; SEE THE REVISED LANDSCAPE PLAN FOR PROPOSED LOCATIONS.

3. **ITEMS THAT STAFF WOULD ASK THE BOARD TO ADDRESS THAT WERE IN THE PREVIOUS MOTION: THE " PLANT PALLET TO BE MORE NATIVE AND DEER RESISTANT. (IT LOOKS AS IF IT CHANGED LITTLE FROM LAST REVIEW BUT IT'S EARLY IN THE PROCESS) AND " THE BUILDING MASSING AND GENERAL ARCHITECTURAL DIRECTION" THAT THE BOARD ASKED THE APPLICANT TO STUDY.**

RESPONSE : BUILDING DESIGN CHANGES ARE ADDRESSED FURTHER IN DRB COMMENT/RESPONSE SECTION.

4. **STAFF SUGGEST ADDING NATIVE EVERGREENS SUCH AS RED CEDARS ALONG THE NORTH AND SOUTH PROPERTY LINE, JUST OUTSIDE OF THE PAVEMENT FOR ADDITIONAL SCREENING.**

RESPONSE : THE APPLICANT PROPOSES THE ADDITION OF 30-40 EVERGREEN RED CEDAR TREES PLACED ALONG THE BUFFER BETWEEN THE PROJECT, GLENN MCCONNELL AND THE SCHOOL. TREES LOCATIONS WILL BE DETERMINED AFTER CLEARING OF THE SITE HAS TAKEN

PLACE. THE TREES WILL BE GROUPED TO CREATE A NATURALIZED FEEL. AN ENHANCED LANDSCAPE BUFFER IS BEING PROPOSED BETWEEN THE PROJECT AND THE TENNIS COURTS ON THE SCHOOL PROPERTY. THIS BUFFER WILL INCLUDE AN APPROPRIATE MIX OF EVERGREEN RED CEDARS, NATIVE GRASSES AND SHRUBS TO HELP CREATE A NATURAL.

DRB COMMENTS:

MOTION: DEFERRAL WITH STAFF COMMENTS 2, AND 4, AND BOARD COMMENTS:

1. **TO STUDY THE ARCHITECTURE TO MAKE MORE IN LINE WITH THE ATTRACTIVE AND WELL THOUGHT OUT LANDSCAPE PLAN**

RESPONSE : BUILDING DESIGN CONTINUED TO BE REFINED ALONG WITH MEETING WITH STAFF TO REVIEW PROPOSED CHANGES.

2. **STUDY THE PROPORTIONS AND SCALE OF THE ARCHITECTURE, BY LOOKING AT:**

a) **THE WINDOWS, BALCONIES, PROJECTIONS OF THE BALCONIES, AND THE ROOF LINE... ALL NEEDS TO BE MORE RESIDENTIAL IN SCALE AND LOOK LESS APPLIED**

RESPONSE: TYPICAL WINDOWS HAVE BEEN RECESSED WITHIN EXTERIOR WALL TO PROVIDE A MORE RESIDENTIAL APPEARANCE WITH DEEPER REVEAL AND SHADOW LINE; BALCONIES HAVE BEEN EXPANDED AND SUPPORTING STRUCTURE WAS ADDED; ROOF LINE WAS LOWERED AT CORNER BALCONIES TO REVEAL BUILDING MASSING.

b) **THE SPACE ABOVE THE TOP FLOORS WINDOWS IS TOO MUCH AND NEEDS TO BE RESOLVED**

RESPONSE: TRANSOM WINDOWS WERE ADDED TO REDUCE BLANK WALL SPACE AT HIGH PARAPET LOCATIONS AND TRIM ELEMENT HAS BEEN ENLARGED; ROOF GOT LOWERED IN CENTER ELEMENT.

c) **WINDOW PROPORTIONS AND MULLION PATTERNS**

RESPONSE: WINDOW PROPORTIONS CHANGED WITH INTRODUCTION OF TRANSOMS.

3. **STUDY THE RHYTHM OF THE VERTICAL BAYS (WINDOW GROUPING BETTER?)**

RESPONSE: RHYTHM OF WINDOWS WAS DEVELOPED FURTHER DUE TO BALCONY REDESIGN.

4. **STUDY THE ROOF LINE AND POSSIBLY BREAKING IT AT THE BUILDING CORNERS**

RESPONSE: ROOF LINE WAS DROPPED AT CORNER BALCONIES TO REVEAL BUILDING MASSING.

5. **ADD PAVERS TO THE INTERIOR NORTH/SOUTH PARKING CORRIDORS TO ADD TO THE PEDESTRIAN FEEL OF THE CENTRAL SPINE**

RESPONSE : APPLICANT WILL FOCUS ON ENHANCING THE PEDESTRIAN EXPERIENCE FROM THE EXTERIOR PARKING AREAS THROUGH TO THE CENTRAL PARK. AS YOU ENTER THE PARKING FINGERS BETWEEN THE TWO BUILDINGS, WE INTEND FOR THAT SPACE TO HAVE AN ENCLOSED RESIDENTIAL AND WARM FEEL THAT IS CLEARLY DIFFERENTIATED FROM THE EXTERIOR PARKING AREAS. AS WE DEVELOP THE DESIGNS FURTHER, DUE CONSIDERATION WILL BE GIVEN TO BOTH THE HARDSCAPE AND LANDSCAPE DESIGN ALONG THESE CORRIDORS TO FOCUS AND DEFINE THE CIRCULATION, VIEWSHEDS AND CONNECTION TO THE CENTRAL COURTYARD.

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REVISIONS

DRB REVIEW
COMMENTS

0.03



- 1) AMENITY COURTYARD SEE ENLARGEMENT
- 2) ENTRY PLAZA SEE ENLARGEMENT
- 3) SOGS PARK
- 4) SIDEWALK
- 5) PLANT BED
- 6) EXISTING GRAND TREE TO REMAIN
- 7) TREE SAVE/BUFFER
- 8) PARKING LOT
- 9) SIDEWALK CONNECTION TO HIGH SCHOOL
- 10) TREE OVERLOOK
- 11) TRAFFIC CIRCLE W/ SPECIALTY PAVERS (FINAL TYPE TBD)
- 12) FLUSH PEDESTRIAN CROSSING W/ SPECIALTY PAVERS (FINAL TYPE TBD)

CONCEPT PLAN - OVERALL

**HIGH REAL ESTATE
FOUNDERS YARD**

CHARLESTON, SC



**HOUSING
STUDIO**
333 West Trade Street, Suite 200
Charlotte, NC 28202
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REVISIONS

LANDSCAPE SITE
PLAN

0.02



**HIGH REAL ESTATE
FOUNDERS YARD**

CHARLESTON, SC



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REVISIONS

BLDG 1 PERSPECTIVE

0.04



**HIGH REAL ESTATE
FOUNDERS YARD**

CHARLESTON, SC



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303 West Trade Street, Suite 300
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REVISIONS

BLDG 1 PERSPECTIVE

0.05

PROPOSED DESIGN CHANGES

1. BALCONIES EXPANDED AND SUPPORTING STRUCTURE ADDED
2. BRICK REMOVED
3. TRIM ELEMENT ENLARGED TO REDUCE BLANK WALL SPACE AT HIGH PARAPET
4. TRANSOM WINDOWS ADDED TO REDUCE BLANK WALL SPACE AT HIGH PARAPET
5. WINDOWS IN FIBER CEMENT RECESSED
6. ALUMINUM ENTRY CANOPY ADDED
7. FIN ELEMENTS ADDED TO BREAK UP ENTRY FEATURE
8. ALUMINUM SHADE CANOPY
9. CORNER BALCONIES SQUARED OFF
10. CORNER BALCONY EDGES SHIFTED INWARD AND ROOFLINE WAS LOWERED TO REVEAL BUILDING MASSING
11. REVEAL PANEL TRIM PATTERN DEVELOPED
12. COLOR CHANGE INTRODUCED AT ENTRY FEATURES



**HIGH REAL ESTATE
FOUNDERS YARD**

CHARLESTON, SC



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REVISIONS

BLDG 1 ELEVATIONS

0.06



**HIGH REAL ESTATE
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REVISIONS

**BLDG 1 ENLARGED
ELEVATIONS**

0.07



**HIGH REAL ESTATE
FOUNDERS YARD**

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REVISIONS

BLDG 1 ENLARGED
ELEVATIONS

0.08



**HIGH REAL ESTATE
FOUNDERS YARD**

CHARLESTON, SC



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REVISIONS

BLDG 1 PERSPECTIVE

0.09

PROPOSED DESIGN CHANGES

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2. BRICK REMOVED
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11. REVEAL PANEL TRIM PATTERN DEVELOPED
12. COLOR CHANGE INTRODUCED AT ENTRY FEATURES



PROPOSED BLDG. 1 SOUTH ELEVATION



PREVIOUS BLDG. 1 SOUTH ELEVATION

**HIGH REAL ESTATE
FOUNDERS YARD**

CHARLESTON, SC



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STUDIO**

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DRB CONCEPTUAL

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REVISIONS

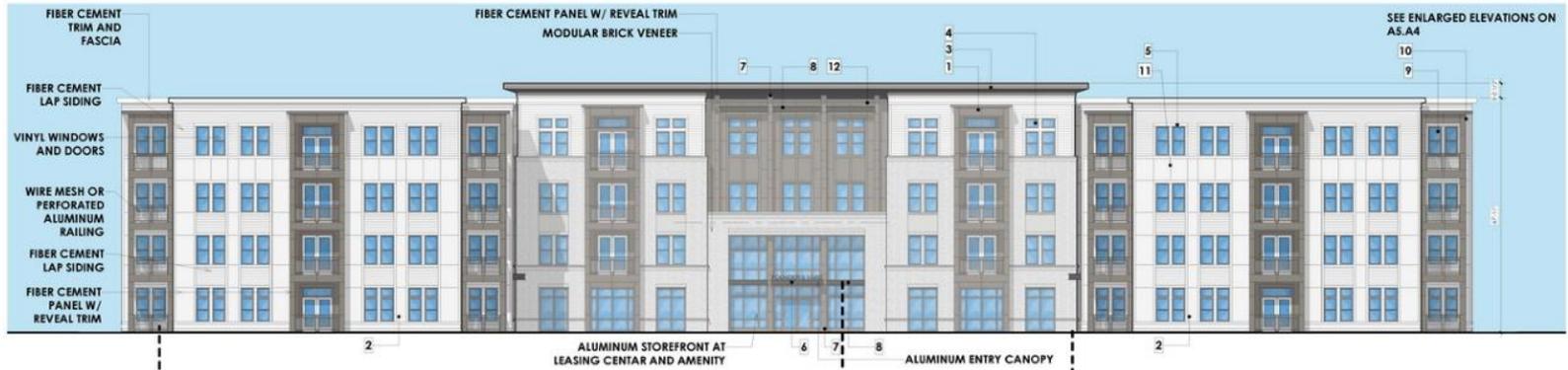
BLDG 1 ELEVATIONS

0.10

PROPOSED DESIGN CHANGES

1. BALCONIES EXPANDED AND SUPPORTING STRUCTURE ADDED
2. BRICK REMOVED
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12. COLOR CHANGE INTRODUCED AT ENTRY FEATURES

PROPOSED BLDG. 1 EAST ELEVATION



WIRE MESH RAILINGS



SHADE CANOPY



MASONRY

**HIGH REAL ESTATE
FOUNDERS YARD**

CHARLESTON, SC



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DRB CONCEPTUAL

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REVISIONS

BUILDING PRODUCT
EXAMPLES

0.11



**HIGH REAL ESTATE
FOUNDERS YARD**

CHARLESTON, SC



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DRB CONCEPTUAL

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REVISIONS

BLDG 2 PERSPECTIVE

0.12

PROPOSED DESIGN CHANGES

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PROPOSED BLDG. 2 NORTH ELEVATION



PREVIOUS BLDG. 2 NORTH ELEVATION

**HIGH REAL ESTATE
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CHARLESTON, SC



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DRB CONCEPTUAL

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REVISIONS

BLDG 2 ELEVATIONS

PROPOSED DESIGN CHANGES

1. BALCONIES EXPANDED AND SUPPORTING STRUCTURE ADDED
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PROPOSED BLDG. 2 EAST ELEVATION



PREVIOUS BLDG. 2 EAST ELEVATION



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REVISIONS

BLDG 4 PERSPECTIVE

0.15

PROPOSED DESIGN CHANGES

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2. BRICK REMOVED
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REVISIONS

BLDG 4 ELEVATIONS



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REVISIONS

BLDG 4 PERSPECTIVE

0.17

PROPOSED DESIGN CHANGES

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**HIGH REAL ESTATE
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REVISIONS

BLDG 4 ELEVATIONS

0.18

CURRENT ITERATION
BLDG. 1 EAST ELEVATION



2ND BOARD REVIEW
BLDG. 1 EAST ELEVATION



(STAFF REVIEW ONLY)
BLDG. 1 EAST ELEVATION



1ST BOARD REVIEW
BLDG. 1 EAST ELEVATION



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REVISIONS

ITERATIVE PROCESS

0.19



- 1) ENTRY COURTYARD
SEE ENLARGEMENT
- 2) ENTRY PLAZA
SEE ENLARGEMENT
- 3) DOGS PARK
- 4) SIDEWALK
- 5) PLANT BED
- 6) EXISTING GRAND TREE TO REMAIN
- 7) TREE SAVE / BUFFER
- 8) PARKING LOT
- 9) SIDEWALK CONNECTION TO HIGH SCHOOL
- 10) TREE OVERLOOK
- 11) TRAFFIC CIRCLE W/ SPECIALTY SWERS (FINAL TYPE TBD)
- 12) FLUSH/RECESSED CROSSING W/ SPECIALTY SWERS (FINAL TYPE TBD)

CONCEPT PLAN - OVERALL

1"=40'-0"

**HIGH REAL ESTATE
FOUNDERS YARD**
CHARLESTON, SC



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REVISIONS

LANDSCAPE SITE PLAN

0.20



**HIGH REAL ESTATE
FOUNDERS YARD**

CHARLESTON, SC



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DRB CONCEPTUAL

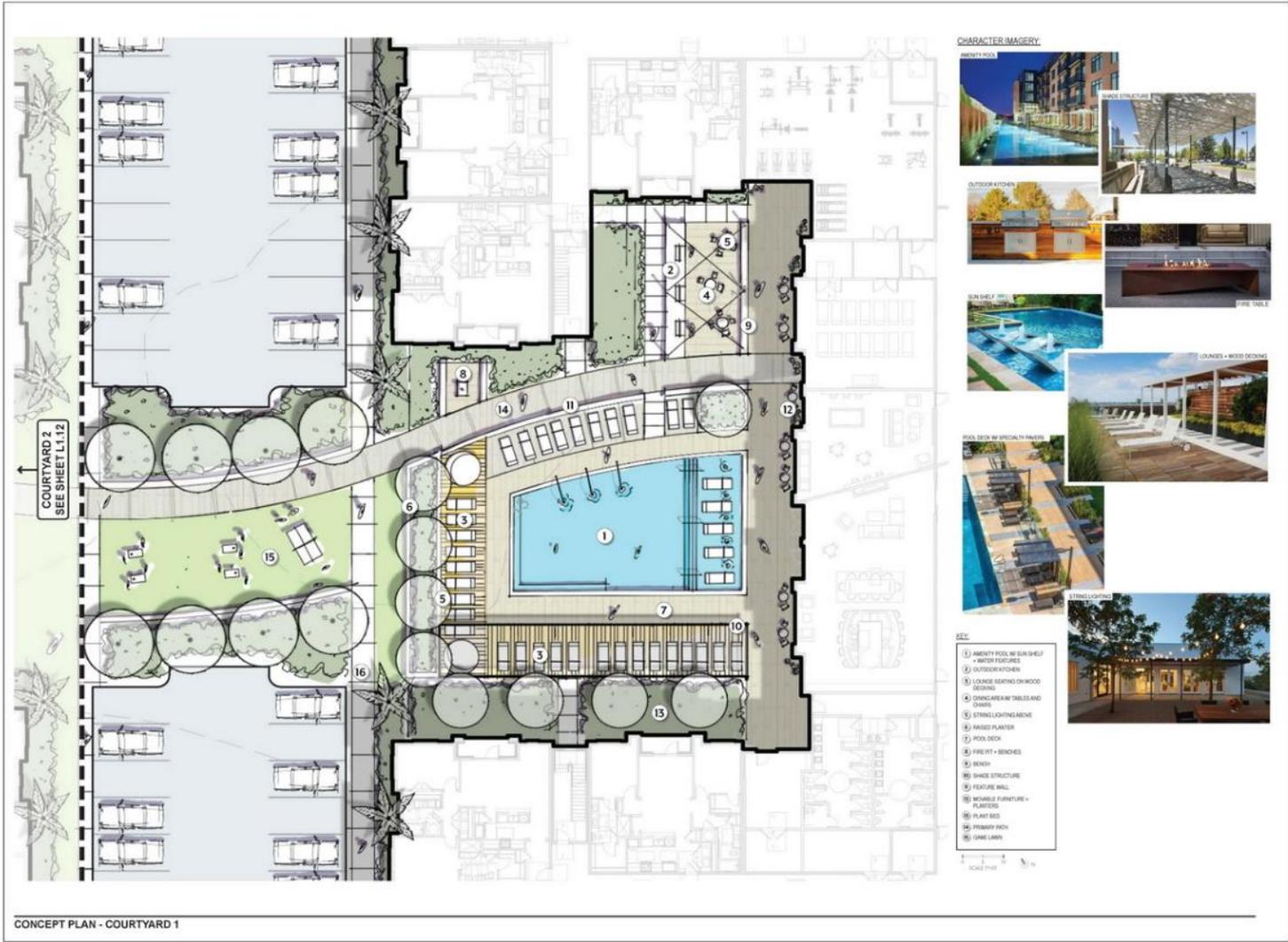
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REVISIONS

CONCEPT PLAN -
ENTRY PLAZA

0.21



**HIGH REAL ESTATE
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CHARLESTON, SC



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REVISIONS

**CONCEPT PLAN -
COURTYARD 1**

0.22



- KEY
- ① FLEXIBLE LAWN
 - ② GRONE
 - ③ HAMMOCK
 - ④ BENCH
 - ⑤ PRIMARY PATH
 - ⑥ TESTED LAWN/PINEL
 - ⑦ SEAT WALL
 - ⑧ GAME LAWN
 - ⑨ PLANT BED
 - ⑩ PAINTING AREA



CHARACTER IMAGERY:



CONCEPT PLAN - COURTYARD 2

PREVIOUS SUBMITTAL



Master planning, civil engineering
urban design, landscape architecture
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NC Eng. Firm License # C-0060

HOHN REAL ESTATE GROUP, LLC
1805 MILL LANE FROM WAY
LANCASTER, PA 17601
717.291.2200

SEANON WHITEHEAD
301 WEST TRADE STREET SUITE 300
MT. PLEASANT, SOUTH CAROLINA 29524
843.664.1857

HOUSING STUDIO
300 WEST TRADE STREET SUITE 300
CHARLOTTE, NC 28202
704.353.7866

GLENN MCCONNELL

GLENN MCCONNELL, PARKWAY
CHARLOTTE, SOUTH CAROLINA 28144

DATE: 1/18/20

PROJECT: 2000019

DRB - CONCEPTUAL REVIEW

NO.	DATE	DESCRIPTION	BY
1.	1/18/20	DRB - STAFF COMMENTS	PK, CT

PREP MANAGER: CT
DRAWN BY: CM/C/P/MS
CHECKED BY: CM

DATE:

AS INDICATED

CONCEPT PLAN ENLARGEMENTS

L1.12



**HIGH REAL ESTATE
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CHARLESTON, SC



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CONCEPT PLAN
COURTYARD 2

0.23



CONCEPT PLAN - COURTYARD 3

**HIGH REAL ESTATE
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CHARLESTON, SC



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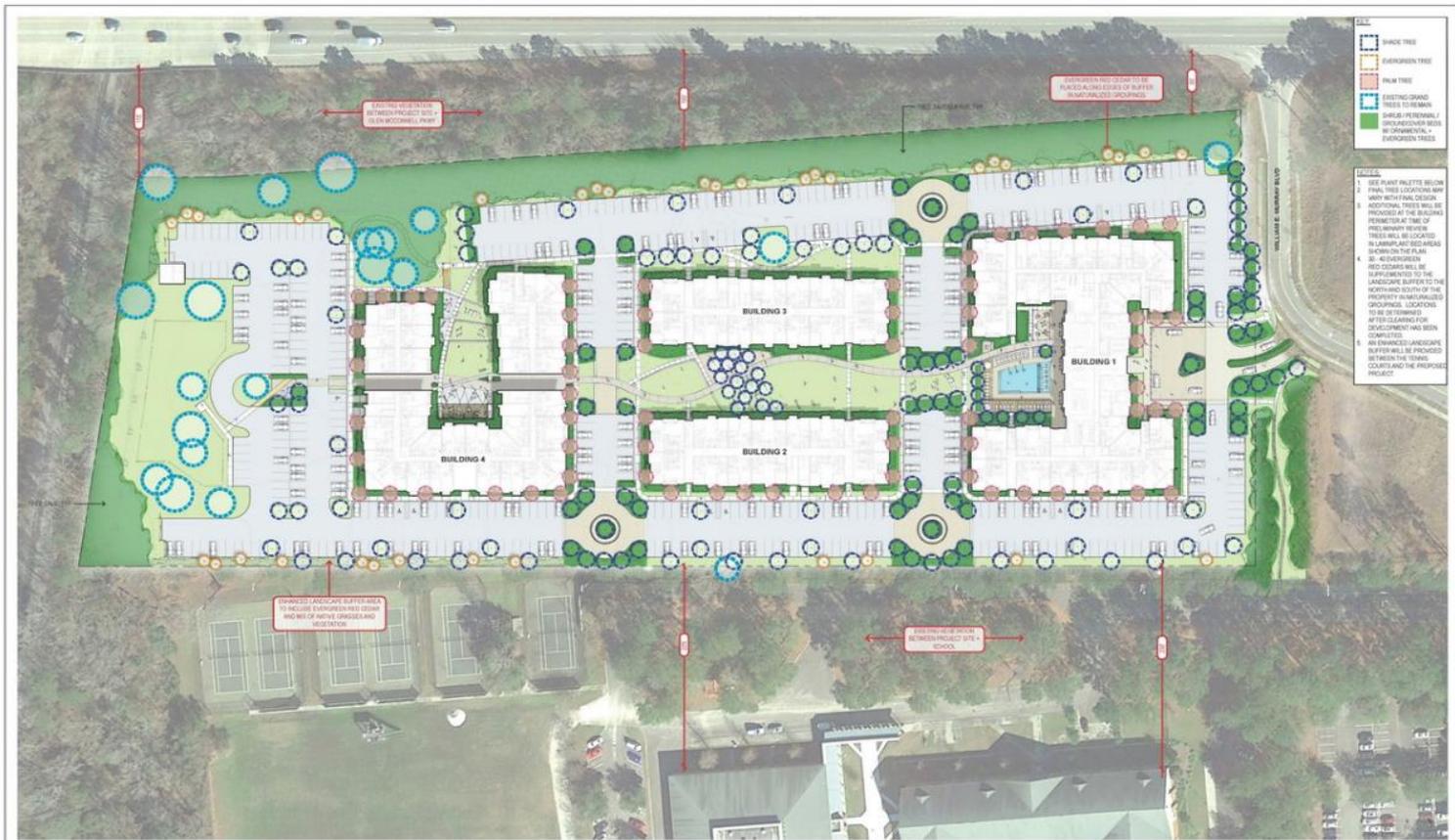
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REVISIONS

CONCEPT PLAN -
COURTYARD 3

0.24



PLANTING CHARACTER

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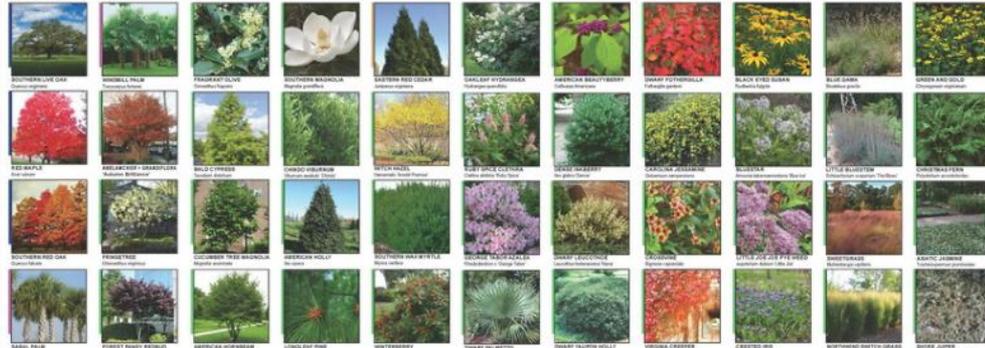
REVISIONS

PLANTING
CHARACTER

0.25



LANDSCAPE PLAN



PLANT PALETTE



EXISTING BUFFER VEGETATION FROM GLENN MCCONNELL PARKWAY

08/18/2018



PARKING ISLAND PALMS - OYSTER PARK CASE STUDY

- OYSTER PARK (SHOWN ABOVE) IS CASE STUDY THAT WAS IDENTIFIED BY STAFF THAT DURING THE FIRST REVIEW THAT SHOWS PALMS PLANTED IN SMALL TRIANGULAR PLANTERS
- THE OYSTER PARK CONDITION VARIES FROM OUR PROJECT CONDITION AS THERE IS NO PLANTING AREA BETWEEN THE BACK OF SIDEWALK AND THE BUILDING FACE.
- THE TRIANGULAR PLANTERS WERE BENEFICIAL ON THIS PROJECT AS THERE IS NO PLANTING AREA OR OTHER LOCATION TO LOCATE PALMS.
- THE PARKING SPACE DIMENSION FOR THE ABOVE PARKING AREA SHOWN IS DEEPER THAN THE DEPTH OF PARKING SPACES ON THE PROPOSED PROJECT.



PARKING ISLAND PALMS - DESIRED PLACEMENT

- PROJECT CONDITION ALLOWS PALMS TO BE LOCATED IN PLANTING AREAS BETWEEN BACK OF SIDEWALK AND FACE OF BUILDING
- PLANTING PALMS IN THE PLANTING AREA WILL PROVIDE MORE SOIL AREA VOLUME AND A MORE DESIRABLE CONDITION COMPARED TO THE TRIANGULAR PLANTERS.
- AESTHETICS OF THE COMPLETED DESIGN WILL BE VISUALLY COMPARABLE TO THE IDENTIFIED OYSTER PARK CASE STUDY.

SCALE: 1" = 30'

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REVISIONS

PARKING ISLAND
COMMENTS

0.27



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HIGH REAL ESTATE
FOUNDERS YARD
CIVIL - LANDSCAPE - ARCHITECTURE
CHARLESTON, SOUTH CAROLINA



NOT FOR CONSTRUCTION

Project Number: 1908
Issue Date: OCTOBER 7, 2019
Issued For: DR Conceptual

EXISTING
CONDITIONS -
PICTURES

C-2.0A



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333 West Trade Street, Suite 300
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HIGH REAL ESTATE
FOUNDERS YARD
CIVIL - LANDSCAPE - ARCHITECTURE
CHARLESTON, SOUTH CAROLINA



NOT FOR CONSTRUCTION

Project Number: 1808
Issue Date: OCTOBER 7, 2019
Issued For: DR Conceptual

EXISTING
CONDITIONS -
PICTURES

C-2.0B



- CITY OF CHARLESTON TRAFFIC & STREET NAME SIGN STANDARDS**
- Traffic signs should be designed and placed in accordance with the latest revision of the 2009 Manual on Uniform Traffic Control Devices for Streets and Highways (MUTCD), published by the U.S. Department of Transportation.
 - Non-traffic related signs should be approved by the Department of Traffic and Transportation.
 - Regulatory, warning, and guide signs shall be fabricated with ASTM International, formerly American Society for Testing and Materials, Type III (High Intensity) or greater retroreflective sheeting. When approved by the Department of Traffic and Transportation parking signs and non-traffic related signs may be fabricated with ASTM Type I (Engrave Grade) or greater material.
 - Street name signs shall be fabricated using extruded aluminum blades 9" in height. The minimum length is 24" with 48" as the maximum. The actual length of the blade will be dictated by the number of letters in the name.
 - The street name color scheme should be white ASTM Type II lettering on a green background.
 - The street name letter font (or equivalent) should be Franklin Series "C", commonly known as Highway Gothic "C".
 - All street names are to consist of 8" upper-case letters with 4.5" lower-case letters. The street designations, e.g., SL, RL, Dr, Cr, Pike, Ave, Blvd are to be 50% superscript.
 - The street name, including the superscript designation, shall be centered vertically and horizontally on the blade.
 - The spacing from the blade edge to the beginning and end of the street name, including the superscript designation, should be a minimum of 2".
 - Street name signs should be mounted with a vertical clearance of at least 8' measured from the bottom of the sign to the near edge of the pavement. All other signs shall be mounted at least 7' from the bottom of the sign to the near edge of the pavement, except when a supplemental plaque or secondary sign is permitted.
 - If a supplemental plaque or secondary sign is permitted to be mounted on the same assembly as another sign, the major (read right) sign shall be installed above the supplemental plaque or secondary sign. The minimum height from the bottom of the supplemental plaque or secondary sign to the near edge of the pavement shall be 8'.
 - The minimum letter offset for related signs should be 2" measured from the nearest sign edge to the pavement edge (or the face of curb). A minimum offset of 1' from the face of the curb may be used in areas where sidewalk width is limited or where existing poles obscure the curb.
 - All traffic sign posts should be securely installed at least 2' in the ground. Traffic sign posts should be green. 3" E&S steel U-channel poles, breakaway, and 12" in length except for street name sign posts.
 - All street name posts should be round, 2.5" OD, breakaway, aluminum or steel, and at least 12" in length.

- NOTE:**
- SIGHT DISTANCE VISIBILITY AT ALL EXITS AND/OR INTERSECTIONS WILL BE MAINTAINED IN ACCORDANCE WITH SCOTTS ACCESS AND ROADSIDE MANAGEMENT STANDARDS.
 - ALL TRAFFIC CONTROL DEVICES WILL BE TO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARD.
 - LANE CLOSURES OF ANY TYPE OF DURATION MUST BE APPROVED BY TRAFFIC AND TRANSPORTATION WELL IN ADVANCE OF THE OCCURRENCE. NO CONSTRUCTION PARKING OR STAGING WILL BE ALLOWED WITHIN THE RIGHT-OF-WAY WITHOUT PRIOR APPROVAL BY TRAFFIC AND TRANSPORTATION. CONTACT LEE KLECKLEY, TRAFFIC SAFETY INSPECTOR AT (843) 724-7380 OR KLECKLEY@CHARLESTON-SC.GOV TO DISCUSS THESE POTENTIAL ISSUES IF WARRANTED. TRC APPROVAL DOES NOT GUARANTEE LANE CLOSURE APPROVAL.
 - CHANGES OR IMPACTS TO TRAFFIC SIGNAL ITEMS MUST BE COORDINATED WITH THE CITY OF CHARLESTON DEPARTMENT OF TRAFFIC AND TRANSPORTATION. CONTACT TROY MITCHELL, TRAFFIC SIGNAL OPERATIONS MANAGER AT (843) 724-7376 OR MITCHELLT@CHARLESTON-SC.GOV
 - IF TRAFFIC SIGNS OR MARKINGS WITHIN THE RIGHT-OF-WAY ARE IMPACTED, RELOCATION OF THESE ITEMS MUST BE COORDINATED WITH TRAFFIC AND TRANSPORTATION PRIOR TO CONSTRUCTION.
 - IF THE STREET IS BLOCKED OR IMPACTED DURING CONSTRUCTION AT ANY TIME FOR ANY REASON A STREET BLOCKING PERMIT WILL BE REQUIRED. COORDINATE WITH TRAFFIC AND TRANSPORTATION PRIOR TO CONSTRUCTION.
 - CONSTRUCTION AND DEMOLITION TRAFFIC MUST AVOID RESIDENTIAL STREETS AT ALL TIMES UNLESS THERE ARE NO ALTERNATIVE ROUTES. IF IMPACTS TO RESIDENTIAL STREETS ARE ANTICIPATED, THE CONTRACTOR SHOULD CALL TRAFFIC AND TRANSPORTATION
 - ALL STORMWATER DETENTION WILL BE UNDERGROUND.

PARKING SUMMARY

MULTIFAMILY PHASE	
TOTAL PARKING REQUIRED:	1.5 SPACE PER UNIT x 348 UNITS = 522 SPACES
TOTAL PARKING SPACES PROVIDED ON-SITE	= 531 SPACES
HANDICAP PARKING SPACES REQUIRED:	(2% OF TOTAL PARKING, ROUND UP)
TOTAL HANDICAP SPACES PROVIDED:	= 11 SPACES

PROPERTY INFORMATION:

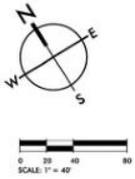
LAND USE ACRESAGE CHART
 TOTAL SITE ACRESAGE = 13.99 AC
 UPLAND ACRESAGE = 12.44 AC
 WETLAND ACRESAGE = 1.55 AC
 WETLAND TO BE FILLED= 0.19 AC

TMS# 306-00-004
 CURRENT OWNER: WHITEFIELD CONSTRUCTION COMPANY

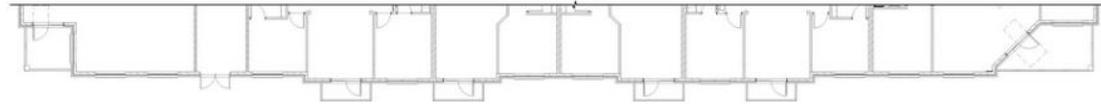
ZONING

BASE ZONING: GENERAL BUSINESS
 OVERLAY DISTRICT: SDB PARCELS OVERLAY
 HEIGHT LIMIT: 50'
 ADJACENT PARCELS: GB & DR-6

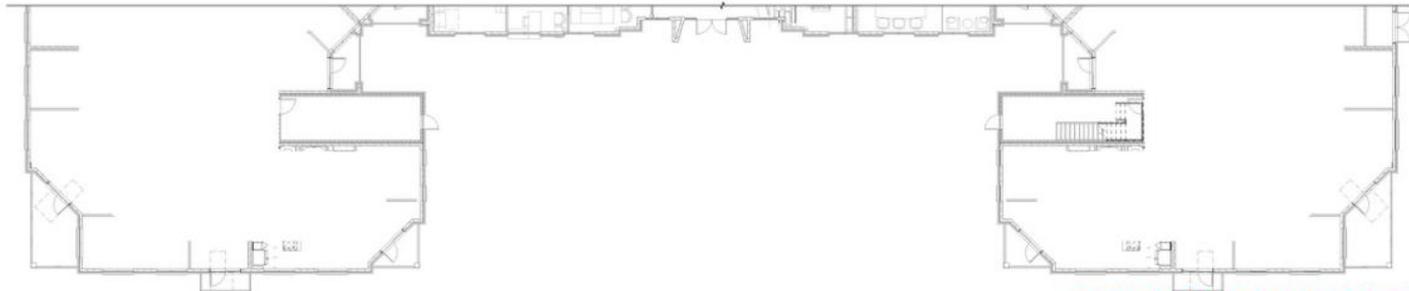
SETBACKS: NO SETBACKS REQUIRED
 LANDSCAPE BUFFER: 5' LANDSCAPE BUFFER ALONG GLENN McCONNELL PARKWAY.
 BZA SITE DESIGN APPROVAL FOR TREE REMOVALS RECEIVED JUNE 5, 2019.



501 WANDOO PARK BOULEVARD, SUITE 200, MOUNT PLEASANT, SC 29564 | 803 NEXET STREET, SUITE 101 | GREENVILLE, SC 29615
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2 BLDG 1 - KEY ELEVATION - SOUTH (PRESENTATION)
3/32" = 1'-0"

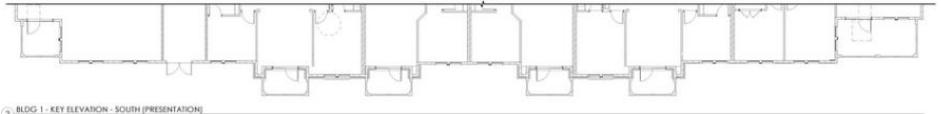


1 BLDG 1 - KEY ELEVATION - EAST (MAIN ENTRY) - (PRESENTATION)
3/32" = 1'-0"

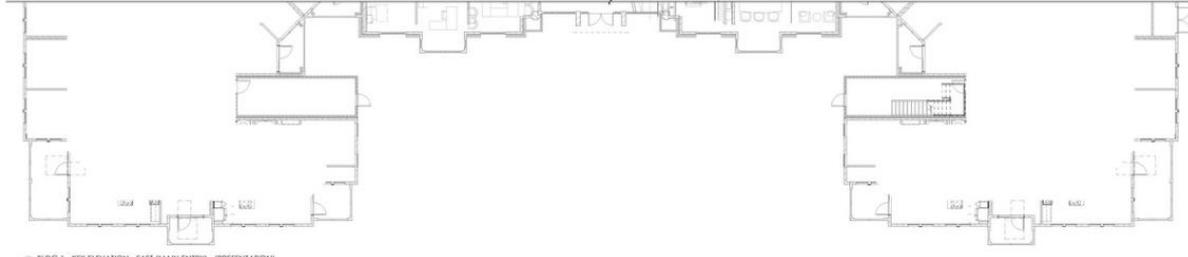
PREVIOUS SUBMITTAL



2 BLDG 1 - KEY ELEVATION - SOUTH (PRESENTATION)
3/32" = 1'-0"



1 BLDG 1 - KEY ELEVATION - EAST (MAIN ENTRY) - (PRESENTATION)
3/32" = 1'-0"



HOUSING STUDIO ARCHITECTURE, INC.
 322 West Third Street, Suite 302
 Charleston, SC 29401
 P: 803.253.7622 F: 803.257.5842



HIGH REAL ESTATE
FOUNDERS YARD
 VOLUME 1: CIVIL - LANDSCAPE -
 ARCHITECTURE - INTERIORS
 CHARLESTON, SC



NOT FOR CONSTRUCTION

Project Number: 3028
 Issue Date: NOVEMBER 18, 2019
 Issued For: 01A CONCEPTUAL



**COLORED
ELEVATIONS**
 BLDG 1

A5.A0B



2 BLDG 1 - ELEVATION - NORTH (PRESENTATION)
3/32" = 1'-0"



1 BLDG 1 - KEY ELEVATION - WEST (COURTYARD) (PRESENTATION)
3/32" = 1'-0"



HOUSING
STUDIO
333 West Trade Street, Suite 300
Charlottesville, VA 22902
1-704-333-7862 • 7-903-337-2842

HIGH REAL ESTATE
FOUNDERS YARD
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SC



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Issue Date: NOVEMBER 18, 2019
Issued For: DRG CONCEPTUAL



COLORED
ELEVATIONS
BLDG 1

A5.A0C



333 West Trade Street, Suite 300
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HIGH REAL ESTATE
FOUNDERS YARD
VOLUME 1 - CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SOUTH CAROLINA



NOT FOR CONSTRUCTION

Project Number: 1906
Issue Date: NOVEMBER 18, 2019
Issued For: DRB Conceptual



BLDG 1 -
ELEVATIONS

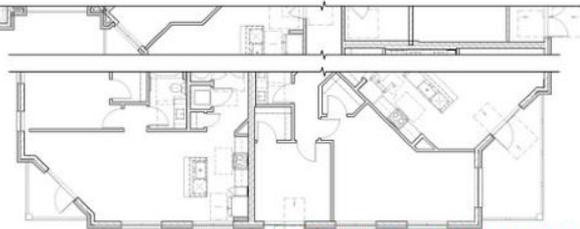
A5.A2



2 BLDG 1 - ELEVATION - EAST A (MAIN ENTRY)
1/8" = 1'-0"



1 BLDG 1 - ELEVATION - EAST B (MAIN ENTRY)
1/8" = 1'-0"



PREVIOUS SUBMITTAL



322 West Trade Street, Suite 303
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HIGH REAL ESTATE
 FOUNDERS YARD
 VOLUME 1: CIVIL - LANDSCAPE -
 ARCHITECTURE - INTERIORS
 CHARLESTON, SC



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BLDG 1 -
 ELEVATIONS

A5.A2





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HIGH REAL ESTATE
 FOUNDERS YARD
 VOLUME 1: CIVIL - LANDSCAPE -
 ARCHITECTURE - INTERIORS
 CHARLOTTE, SOUTH CAROLINA



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Project Number: 1906
 Issue Date: NOVEMBER 18, 2019
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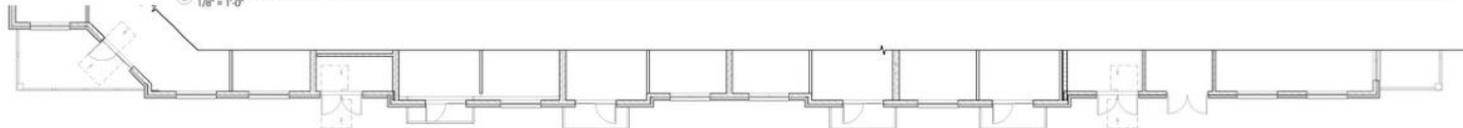


BLDG 1 -
 ELEVATIONS

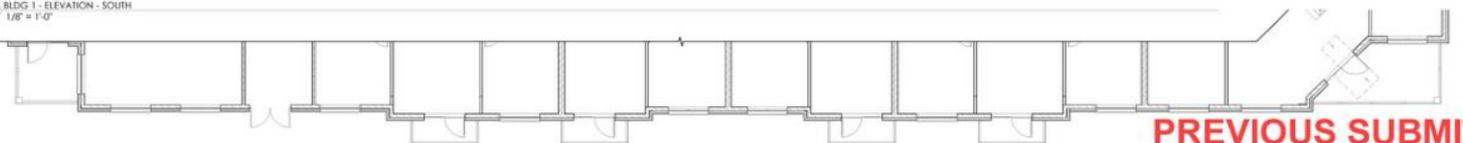
A5.A3



2 BLDG 1 - ELEVATION - NORTH
 1/8" = 1'-0"



1 BLDG 1 - ELEVATION - SOUTH
 1/8" = 1'-0"



PREVIOUS SUBMITTAL

ARCHITECTURAL ELEVATION - NORTH
 11/18/19



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HIGH REAL ESTATE
 FOUNDERS YARD
 VOLUME 1: CIVIL - LANDSCAPE -
 ARCHITECTURE - INTERIORS
 CHARLESTON, SC



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Project Number: 1908
 Issue Date: NOVEMBER 18, 2019
 Issued For: DR CONCEPTUAL

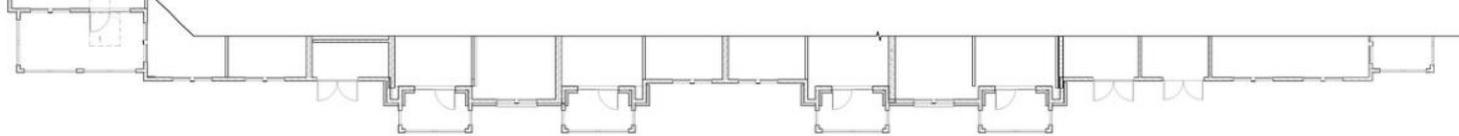


BLDG 1 -
 ELEVATIONS

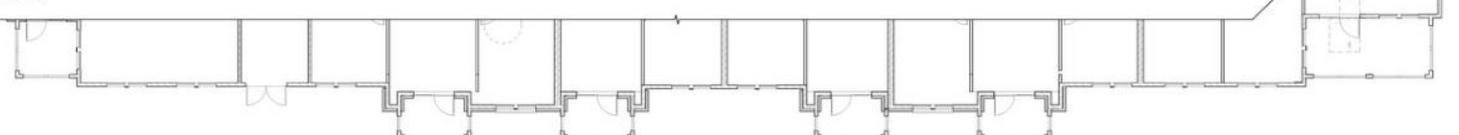
A5.A3



2) BLDG 1 - ELEVATION - NORTH
 1/8" = 1'-0"



1) BLDG 1 - ELEVATION - SOUTH
 1/8" = 1'-0"



ARCHITECTURAL ELEVATION DRAWING
 11/18/2019



BLDG 1 -
 ELEVATIONS



2 BLDG 1 - ELEVATION - WEST C (COURTYARD)
 1/8" = 1'-0"

3 BLDG 1 - ELEVATION - WEST A (COURTYARD)
 1/8" = 1'-0"



1 BLDG 1 - ELEVATION - WEST B
 1/8" = 1'-0"

PREVIOUS SUBMITTAL

ARCHITECTURAL ELEVATION - FOUNDERS YARD



2 BLDG 1 - ELEVATION - WEST C (COURTYARD)
1/8" = 1'-0"



3 BLDG 1 - ELEVATION - WEST A (COURTYARD)
1/8" = 1'-0"



1 BLDG 1 - ELEVATION - WEST B
1/8" = 1'-0"



HOUSING STUDIO
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HIGH REAL ESTATE
FOUNDERS YARD
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SC



NOT FOR CONSTRUCTION

Project Number: 1906
Issue Date: NOVEMBER 18, 2019
Issued For: DRG CONCEPTUAL



BLDG 1 -
ELEVATIONS

A5.A4

- GENERAL NOTES - BUILDING KEY PLANS**
- REFER TO ALL OTHER DRAWINGS FOR FINISHES, MATERIALS, WALL TYPES, CEILING TYPES, DECKING, PATIO FLOORING, WINDOW TREATMENTS, ETC.
 - DIMENSIONS IN DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 - ALL CONCRETE WALLS ARE 24" WOOD FORM WITH ONE LAYER OF 5# BAR TYPE #4.
 - ALL CONCRETE FLOORS ARE 24" WOOD FORM WITH ONE LAYER OF 5# BAR TYPE #4.
 - ALL STRUCTURAL PARTITIONS ARE 12" WOOD FORM WITH ONE LAYER OF 5# BAR TYPE #4.
 - BRACES AND LATHING CONSTRUCTION SHALL BE TO CODE.
 - ALL STRUCTURE SHALL BE BUILT TO MEET THE 2015 IBC WITH ALL WALL TYPES, CEILING, FLOORING AND PARTITIONS. DIMENSIONS FOR FINISHES ARE TO FACE UNLESS NOTED OTHERWISE.
 - ALL PARTITIONS SHALL BE CONSTRUCTION PARTITION UNLESS NOTED OTHERWISE.
 - FINISH OF WOOD WALLS BETWEEN INDIVIDUAL UNITS ARE TO BE 1/2" WOOD ON GYPSUM BOARD.
 - FINISH OF WOOD WALLS TO BE 1/2" WOOD ON GYPSUM BOARD.

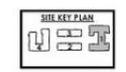


HIGH REAL ESTATE
 FOUNDERS YARD
 VOLUME 1: CIVIL - LANDSCAPE -
 ARCHITECTURE - INTERIORS
 CHARLESTON, SOUTH CAROLINA



NOT FOR CONSTRUCTION

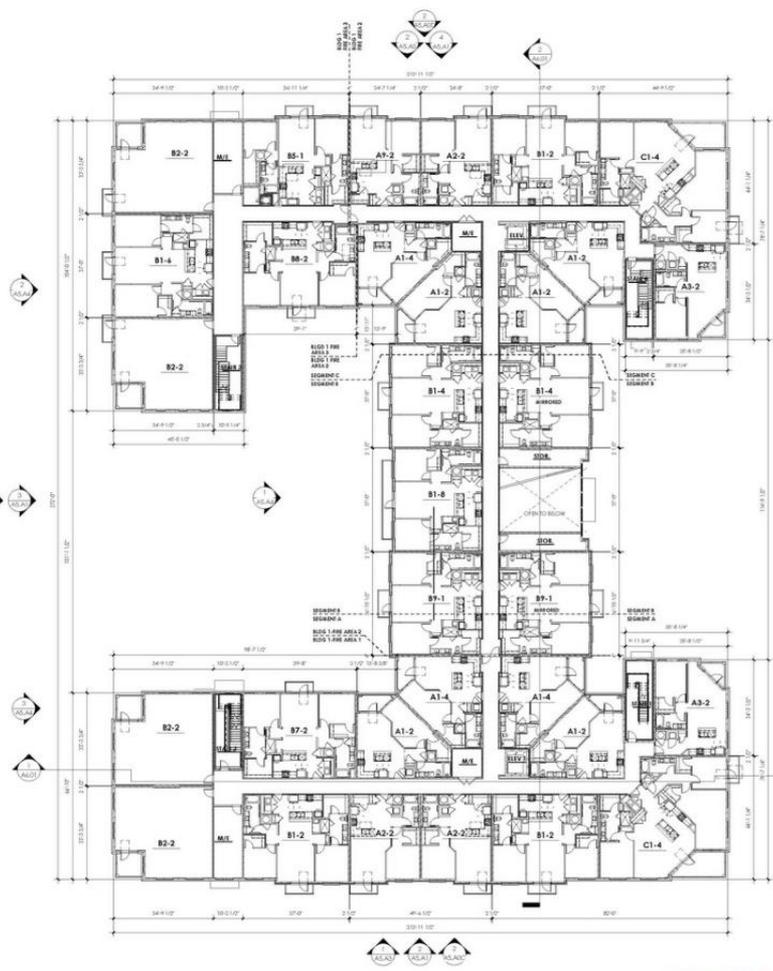
Project Number: 1808
 Issue Date: NOVEMBER 16, 2019
 Issued to: DRB Construction



BLDG 1 - 2ND
 FLOOR - KEY
 PLAN

PREVIOUS SUBMITTAL

A5.A6



1 BLDG 1 - LEVEL 2
 1/16" = 1'-0"

HOUSING STUDIO ARCHITECTURE INC.
 303 WEST TAYLOR STREET, SUITE 300
 CHARLESTON, SOUTH CAROLINA 29402
 P: 704.533.7862 F: 960.237.2662

GENERAL NOTES - BUILDING KEY PLANS

- REFER TO CHAIRS AND TABLES FOR THE EXACT POSITIONING OF THE FURNITURE AND TYPE DETAIL.
- DIMENSIONS IN PARENTHESIS ARE FOR 3/8" TO 1/2" TOOLS OF BLDG. ANGLE.
- SEE STRUCTURAL DRAWINGS FOR LOADS, BEAMS AND LUG LOCATIONS PER WALL DETAILS. SPACE BETWEEN LUGS IS 24" ON CENTER AND 12" TO EDGES.

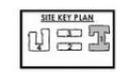


**HIGH REAL ESTATE
FOUNDERS YARD**
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SC



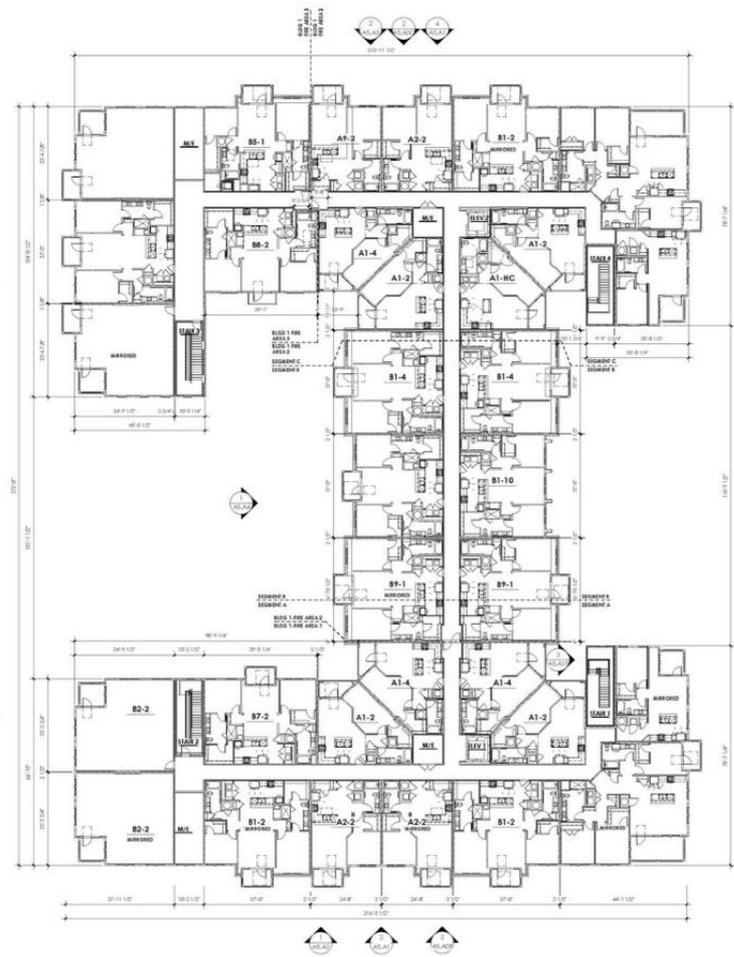
NOT FOR CONSTRUCTION

Project Number: 1838
Issue Date: NOVEMBER 18, 2019
Issued by: DBS CONSTRUCTION



BLDG 1 - 4TH
FLOOR - KEY
PLAN

A5.A8



1 BLDG 1 - LEVEL 4
1/16" = 1'-0"

DBS CONSTRUCTION



2 BLDG 2 - KEY ELEVATION - EAST (PRESENTATION)
3/32" = 1'-0"



1 BLDG 2 - KEY ELEVATION - NORTH (COURTYARD) (PRESENTATION)
3/32" = 1'-0"

HIGH REAL ESTATE
 FOUNDERS YARD
 VOLUME 1: CIVIL - LANDSCAPE -
 ARCHITECTURE - INTERIORS
 CHARLESTON, SOUTH CAROLINA



NOT FOR CONSTRUCTION

Project Number: 3008
 Issue Date: NOVEMBER 18, 2019
 Issued For: CH Conceptual

PREVIOUS SUBMITTAL

COLORED
 ELEVATIONS
 BLDG 2 & 3
A5.B0B

11/18/2019 10:58 AM



HIGH REAL ESTATE
FOUNDERS YARD
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SOUTH CAROLINA



NOT FOR CONSTRUCTION

Project Number: 3008
Issue Date: NOVEMBER 18, 2019
Issued For: CDR Conceptual

BLDG 2 AND 3 -
ELEVATIONS

PREVIOUS SUBMITTAL

A5.B2



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HOUSING STUDIO
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 HIGH REAL ESTATE
FOUNDERS YARD
 VOLUME 1: CIVIL - LANDSCAPE -
 ARCHITECTURE - INTERIORS
 CHARLESTON, SC



NOT FOR CONSTRUCTION

Project Number: 3008
 Issue Date: NOVEMBER 18, 2019
 Issued For: GSA CONCEPTUAL



BLDG 2 AND 3 -
 ELEVATIONS

A5.B2

NOT FOR CONSTRUCTION

Project Number: 3008
Issue Date: NOVEMBER 18, 2019
Issued For: CRN Conceptual

BLDG 2 AND 3 -
ELEVATIONS

A5.B3



PREVIOUS SUBMITTAL

DATE PLOTTED: 11/18/2019 10:00 AM





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 322 West Church Street, Suite 300
 Charlotte, NC 28202
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HIGH REAL ESTATE
 FOUNDERS YARD
 VOLUME 1: CIVIL - LANDSCAPE -
 ARCHITECTURE - INTERIORS
 CHARLESTON, SOUTH CAROLINA



NOT FOR CONSTRUCTION

Project Number: 1008
 Issue Date: NOVEMBER 18, 2019
 Issued For: CDR Conceptual

BLDG 2 AND 3 -
 ELEVATIONS

PREVIOUS SUBMITTAL

A5.B4



HOUSING STUDIO ARCHITECTURE - INTERIORS
 322 West Church Street, Suite 302
 Charleston, SC 29403
 P: 704.333.7622 F: 704.333.5842



**HIGH REAL ESTATE
FOUNDERS YARD**
 VOLUME 1: CIVIL - LANDSCAPE -
 ARCHITECTURE - INTERIORS
 CHARLESTON, SC



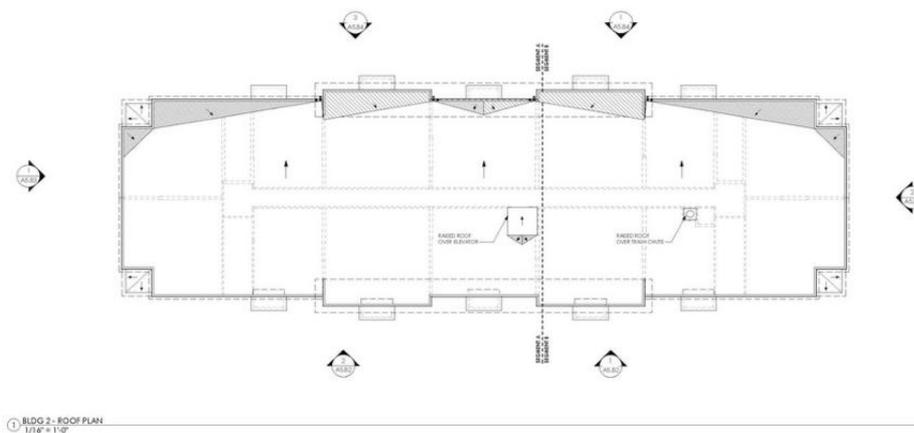
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Project Number: 1008
 Issue Date: NOVEMBER 18, 2019
 Issued For: GR CONCEPTUAL



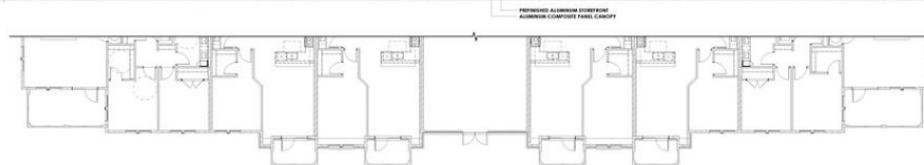
BLDG 2 AND 3 -
 ELEVATIONS

A5.B4





2 BLDG 4 - KEY ELEVATION - EAST (COURTYARD) (PRESENTATION)
3/32" = 1'-0"



1 BLDG 4 - KEY ELEVATION - SOUTH (MAIN ENTRY) (PRESENTATION)
3/32" = 1'-0"



HIGH REAL ESTATE
FOUNDERS YARD
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SC



NOT FOR CONSTRUCTION

Project Number: 3028
Issue Date: NOVEMBER 18, 2019
Issued For: GRN CONCEPTUAL

COLORED
ELEVATIONS
BLDG 4

A5.C0A

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 322 WEST 70TH STREET, SUITE 302
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 Issue Date: NOVEMBER 18, 2019
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**BLDG 4 -
 ELEVATIONS**

A5.C2



1 BLDG 4 - ELEVATION - SOUTH (MAIN ENTRY)
 1/8" = 1'-0"

PREVIOUS SUBMITTAL



1 BLDG 4 - ELEVATION - EAST A (COURTYARD)
1/8" = 1'-0"



2 BLDG 4 - ELEVATION - EAST B (COURTYARD)
1/8" = 1'-0"

PREVIOUS SUBMITTAL



HIGH REAL ESTATE
FOUNDERS YARD
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SOUTH CAROLINA



NOT FOR CONSTRUCTION

Project Number: 3008
Issue Date: NOVEMBER 18, 2019
Issued For: CRB Conceptual

BLDG 4 -
ELEVATIONS

A5.C3



1 BLDG 4 - ELEVATION - EAST A (COURTYARD)
1/8" = 1'-0"



2 BLDG 4 - ELEVATION - EAST B (COURTYARD)
1/8" = 1'-0"

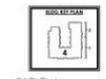


HIGH REAL ESTATE
FOUNDERS YARD
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SC



NOT FOR CONSTRUCTION

Project Number: 3008
Issue Date: NOVEMBER 18, 2019
Issued For: GFA CONCEPTUAL

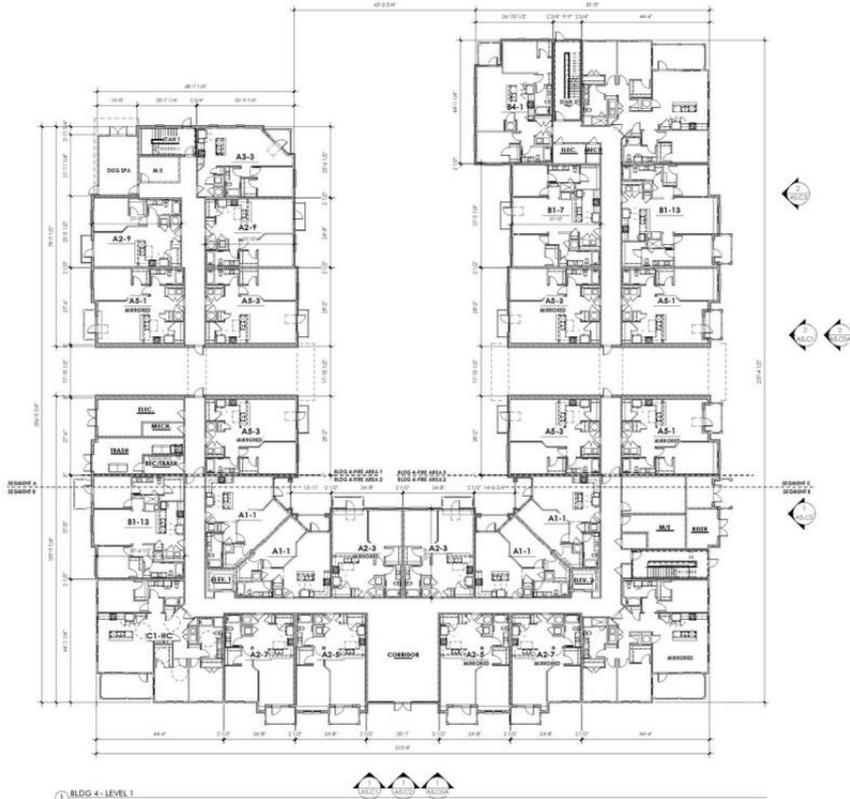


BLDG 4 -
ELEVATIONS

A5.C3

GENERAL NOTES - BUILDING KEY PLANS

- REFER TO CHAIRS AND SEATING FOR THE SEATING CHAIRS AND SEATING CHAIRS.
- DIMENSIONS IN PARENTHESIS ARE FOR THE SEATING CHAIRS AND SEATING CHAIRS.
- SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND CONCRETE WORK FOR WALLS, STAIRS, BRACKETS, AND LUMENES CONNECTIONS AND THE DETAIL.



1 BLDG 4 - LEVEL 1
1/16" = 1'-0"

HIGH REAL ESTATE
FOUNDERS YARD
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SC



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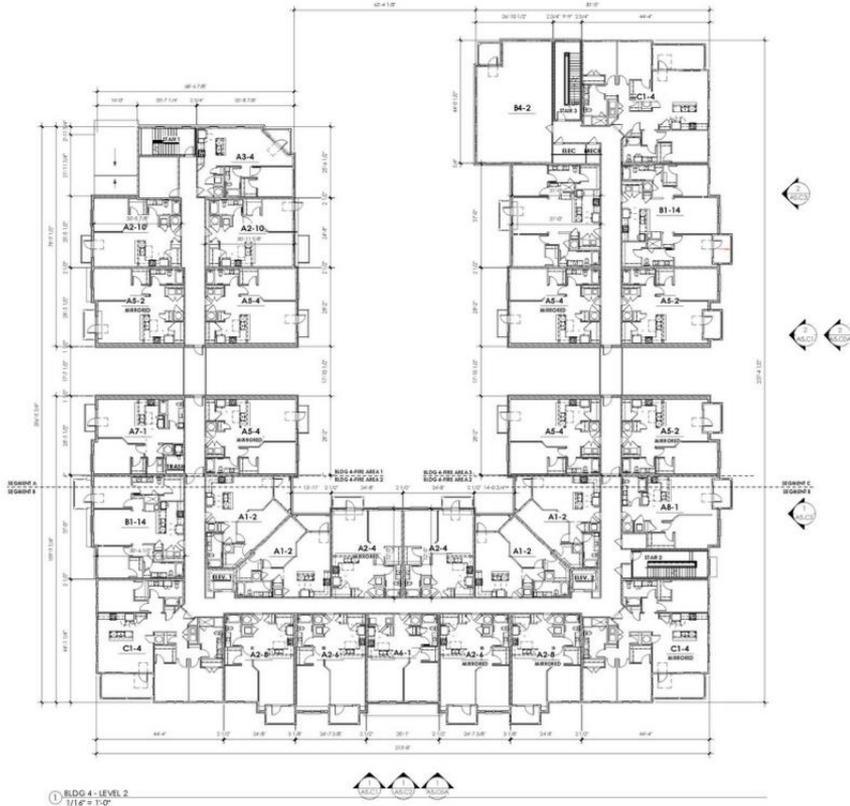
Project Number: 1838
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BLDG 4 - 1ST
FLOOR - KEY
PLAN

A5.C4

- GENERAL NOTES - BUILDING KEY PLANS**
- REFER TO CHAIRS AND SEATING FOR THE SEATING CHAIRS AND SEATING CHAIRS.
 - DIMENSIONS IN PARENTHESIS ARE FOR THE 3/4" TO 1" SCALE OF THIS PLAN.
 - SEE STRUCTURAL DRAWINGS FOR FOUNDATION AND CONCRETE WORK.
 - BRACKET ANCHORS ARE TO BE SHOWN AS PER THE DRAWING.



1 BLDG 4 - LEVEL 2
1/16" = 1'-0"

HIGH REAL ESTATE
FOUNDERS YARD
VOLUME 1: CIVIL - LANDSCAPE -
ARCHITECTURE - INTERIORS
CHARLESTON, SC



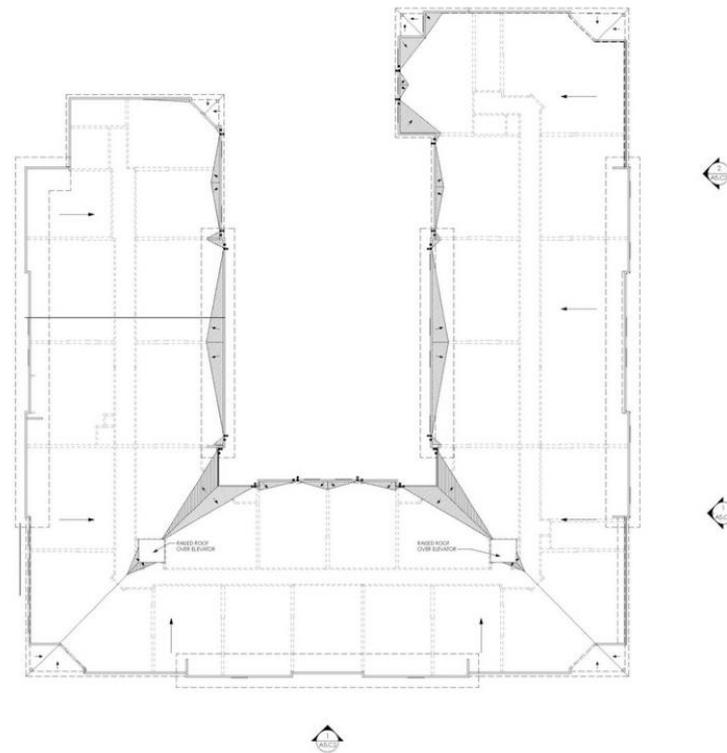
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BLDG 4 - 2ND
FLOOR - KEY
PLAN

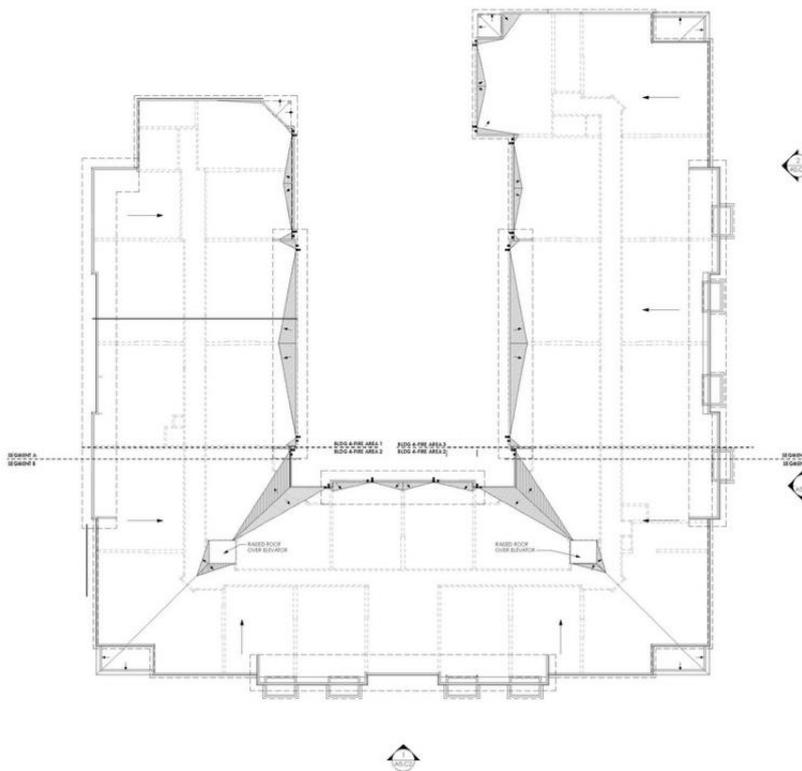
A5.C5



BLDG 4 - ROOF PLAN
 1/16" = 1'-0"

PREVIOUS SUBMITTAL

A5.C8



1 BLDG 4 - ROOF PLAN
1/16" = 1'-0"

